

NOTICE: Agenda posted in the lobby and on the front door of Bethany City Hall, 6700 NW 36th St., Bethany, OK 73008 on Thursday, July 27, 2023, at 11:00 a.m.

The City of Bethany encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. The city may waive the 48-hour rule if signing is not the necessary accommodation.

(PLANNING AND ZONING COMMISSION MEETING WILL BE HELD IN THE CITY COUNCIL CHAMBER AT BETHANY CITY HALL - 6700 NW 36TH ST., BETHANY, OK 73008)

AGENDA
CITY OF BETHANY
PLANNING AND ZONING COMMISSION
AUGUST 3, 2023
7:00 P.M.

CALL TO ORDER

INVOCATION

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES OF JULY 20, 2023

EXPLANATION OF PROCEDURE TO AUDIENCE

PLANNING AND ZONING COMMISSION BUSINESS

ITEM 1: PC 23-12

Discussion and approval of a site plan submitted by Troy Rhodes, applicant, on behalf of Bethany First Church, property owner, located at the following addresses: 6910 NW 41st Street, 6907 NW 41st Street, 6905 NW 41st Street, 6903 NW 41st Street, 6900 NW 41st Street, and 4201 N Willow Avenue.

LEGAL DESCRIPTION: SECT. 16 T12N-R4W SE QTR BETHANY ADDITION; BLOCK 5, LOTS 9-12 AND BLOCK 6, LOTS 1-12 AND BLOCK 7, LOT 9.

Item to be heard by City Council on August 15, 2023

NEW BUSINESS

ADJOURNMENT UNTIL AUGUST 17, 2023

MINUTES
CITY OF BETHANY
PLANNING AND ZONING COMMISSION
JULY 20, 2023

MEMBERS PRESENT: Justin Peck, Vice Chair
Ron Crouch
Robert Helton
James Clemmer
Kent Lynn
Steve Marx

MEMBERS ABSENT: Charles Snyder, Chair

STAFF PRESENT: Ray Jones, City Attorney
Amanda McCellon, Comm. Dev. Director
Brendan Summerville, Comm. Dev. Associate
Linda Hlinicky, Adm. Assistant

NOTICE: Agenda posted in the lobby and on the front door of Bethany City Hall, 6700 NW 36th St., Bethany, OK 73008 on Thursday, July 13, 2023, at 11:00 a.m.

Justin Peck, Vice-Chair called the meeting to order. Motion was made by Ron Crouch, seconded by Robert Helton to approve the July 6, 2023 Planning and Zoning Commission minutes as mailed. The votes are as follows: AYE- Justin Peck, Robert Helton, James Clemmer, Kent Lynn, Steve Marx. NAY- None. ABSTAIN- Ron Crouch. The motion carried 5-0-1.

ITEM 1: **PC 23-11**
Discussion by the Planning & Zoning Commission regarding Mixed-Use Developments (MUDs) as they relate to the Comprehensive Plan & Code of Ordinances.

ACTION: Brendan Summerville, Comm. Dev. Associate presented the staff report to discuss the MUD, Mixed Use Development as it relates to the Comprehensive Plan and Code of Ordinances.

After a discussion about the MUD, Mixed Use Development, motion was made by Steve Marx, seconded by James Clemmer to adjourn. The votes are as follows: AYE- Justin Peck, Ron Crouch, Robert Helton, James Clemmer, Kent Lynn, Steve Marx. NAY- None. ABSTAIN- None. The motion carried unanimously 6 - 0.



City of Bethany

Planning & Zoning Staff Report

August 3, 2023

CASE NO: PC 23-12

Request: Consider a request by Troy Rhodes, applicant, on behalf of Bethany First Church, property owner, to review and approve of a site plan for Bethany First Church.

Legal Description: Sect. 16-T12N-R4W SE Qtr., Bethany Addition; Block 5, Lots 9-12 and Block 6, Lots 1-12 and Block 7, Lot 9.

Current Zoning: E-I (Educational-Institutional) & R-1 (Single-Family Residential)

Surrounding Zoning:

Direction	Zoning
North	R-1
South	E-I
East	R-1 & C-G
West	C-H, C-G, and R-1

Table 1

Background:

The applicant has submitted a site plan for the Bethany First Church property, which includes the development of athletic fields, a building addition, perimeter fencing, the removal of off-street parking, and new public sidewalks.

However, along with this proposal, the applicant has stated the need for several exceptions within the municipal code of ordinances. A complete list of projects and requested exceptions may be found within the attached documents.

City staff, including the Director of Planning & Community Development and the City Engineers, have reviewed this plan. While the primary site plan meets city standards, the exceptions requested cannot be approved by staff.

Required Action: Hold a public hearing and either approve or deny the review of the applicant’s site plan. Any specific conditions imposed by either City Council or the Planning & Zoning Commission should be read into any approval motion.

Attachments:

- Scope of Work & Requested Exceptions
- Site Plan
- Aerial Photographs
- Zoning Map

July 19, 2023

Project: Bethany First Church – Family Life Park
TDR Project #: 22391.00

Purpose: Planning & Zoning Review & Recommendation to City Council

DISCUSSION TOPICS:

- Project Summary:
 - Development of new lighted T-Ball/Baseball and Soccer fields on property owned by Bethany First Church of the Nazarene at their main campus along 39th street, to replace existing fields at Divis Ave
 - Relocation and expansion of the playground area at the Floyd Center
 - Building addition to the existing Floyd Center facility, with storage, concessions, and bathrooms, to serve the ball fields
 - Perimeter fencing and gates
 - New public sidewalks
 - Parking removal
- This will be:
 - “Church” development zoned E-I (BFC property) at block 6 lots 1-12 (Between Beaver and Willow, 39th to 41st) adjacent to
 - North: R-1 (but primarily E-I use, BFC property) at block 5 across 41st
 - East: E-I and C-G (but E-I use, BFC property) at block 7 across Willow
 - South: E-I at Expressway Right-of-Way / Easement
 - West: R-1, C-G, C-H at block 22 across Beaver
 - “Church” development zoned R-1 (but E-I use, BFC property) at block 5 lots 9, 10, 11 and 12 (north of 41st), adjacent to
 - North: R-1 across alley
 - East: R-1 (but E-I use, BFC property) at block 4 across Willow
 - South: E-I (BFC property) at block 6 across 41st
 - West: R-1 at block 22 across Beaver
- Parking requirements
 - Within the City Right-of-Way along 41st Street, we are proposing to convert existing on-street parking into a dedicated drop-off lane
 - We are proposing to use the adjacent BFC parking lot to the east to meet any parking requirements for this site
 - We are proposing to add accessible parking spaces and accessible routes (sidewalks & crosswalks) from this parking to the existing building and new site amenities
- At proposed crosswalks, can speed tables be considered, especially the mid-block crossing at 41st Street?

We are requesting approval of the proposed conditions noted in red below, per the attached plans.

§ 150.007 STRUCTURES OVER EASEMENTS OR RIGHTS-OF-WAY.

Section 3201 of the Building Code is amended to include:

“A. No permanent structure shall be located, constructed, placed or erected on a public easement or right-of-way; provided, portable buildings or accessory building on skids or platforms, fences, driveways and other structures not permanently affixed to the ground shall not be prohibited by this section. For purposes of this section, "public easement or right-of-way" means any easement or right-of-way dedicated to the public for any purpose, whether recorded or not, "permanent structure" means anything which requires location on the ground or which is attached to something having location on the ground.

(Amendments B thru E not relevant to this project, as all address BUILDINGS)

We are proposing permanent structures within the Right of Way:

- 1 • Sidewalks
- 2 • Pedestrian lighting
- 3 • Landscaping

We are proposing permanent structures adjacent to, but not within, the Right-of-way:

- 4 • Canopies whose columns are placed AT or just inside the property line / outside the platted right of way; we believe that this arrangement means that they are NOT “located, constructed, placed or erected on a public easement or right-of-way”, and comply with this amendment.

§ 92.20 PROJECTIONS OVER SIDEWALKS.

No projection over any sidewalk within the city shall be maintained at a height of less than eight feet above the level of the sidewalk.

2018 IBC Chapter 32: Encroachments into the Public Right-of-way

SECTION 3202 ENCROACHMENTS

3202.3 Encroachments 8 feet or more above grade. Encroachments 8 feet (2438 mm) or more above grade shall comply with Sections 3202.3.1 through 3202.3.4.

3202.3.1 Awnings, canopies, marquees and signs. *Awnings*, canopies, marquees and signs shall be constructed so as to support applicable loads as specified in Chapter 16. *Awnings*, canopies, marquees and signs with less than 15 feet (4572 mm) of clearance above the sidewalk shall not extend into or occupy more than two-thirds the width of the sidewalk measured from the building. Stanchions or columns that support *awnings*, canopies, marquees and signs shall be located not less than 2 feet (610 mm) in from the curb line.

(3202.3.2 thru 3202.3.4 not relevant to this project)

- 5 In several locations, we are proposing that the upper portions of canopies DO overhang the platted right of way, but higher than 8’ above the ground, in compliance with the provisions in the adopted IBC Chapter 32, which are unamended by the City ordinance § 150.007, and in compliance with § 92.20. In all cases, the supporting columns are placed AT or just inside the property line / outside the platted right of way, and are much greater than 2 feet from the curb line. In all cases, the canopies overhang less than two-thirds of the sidewalk width.

CHAPTER 154: SUBDIVISIONS
§ 154.01 DEFINITIONS.

BUILDING. Any structure built for the support, shelter or enclosure of any persons, animals, chattels or movable property of any kind.

BUILDING LINE or **SETBACK LINE.** A line or lines designating the area outside of which buildings may not be erected.

CHAPTER 158: ZONING
§ 158.002 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

BUILDING. Any structure intended for shelter, housing or enclosure for persons, animals or chattel.

CHURCH. A facility operated by a religious organization used exclusively as a place of worship or for the promotion of religious activities, including accessory uses on the same site. Examples of these types of facilities include churches, mosques, synagogues, and temples. Examples of allowable accessory uses on the same site include living quarters for ministers and staff, and facilities for child day care and religious instruction.

FENCE.

(1) A structure, wall or hedge, erected or grown for the purpose of dividing open space, delineating boundaries, enclosure or preventing passage or sight.

(2) The height of fences shall be determined as follows:

- (a) Measurement to be taken from the highest elevation contiguous to the fence from the base to the top;
- (b) The fence is to follow the topography and is measured accordingly;
- (c) Decorative posts are to be excluded from measurement; and
- (d) Planter boxes built to effectively lower the height of the fence will be included in the measurement.

SETBACK. The minimum yard specified.

STRUCTURE. Anything constructed or erected, the use of which requires location on the ground, or which is attached to something having a location on the ground.

YARD. A space at grade between a building on a lot and the adjoining lot line as measured by the shortest horizontal distance between the lot line and the primary building.

YARD, FRONT. The yard extending across a lot between the side lot lines and established according to the first one of the conditions below which applies, the conditions being prioritized in descending order.

- (1) For planned or existing commercial or industrial uses, it is the yard adjacent and parallel to a major street or expressway if the lots abut such a facility;
- (2) It is the yard adjacent and parallel to the street upon which the lot has its shortest dimension; or
- (3) It is the yard indicated as the front on the subdivision plat filed of record.

YARD, MINIMUM. The smallest yard that shall remain unoccupied, unobstructed and without infringement by any structure on a lot.

YARD, REAR. The yard(s) at the opposite end of the lot from the front yard and extending across the lot between the side lot lines.

YARD, SIDE. All yards on a lot other than front and rear yards and extending across the lot between the front and rear lot lines.

§ 154 Subdivision regulations effectively define the setback line as the limit beyond which BUILDINGS may not be constructed, however § 158 Zoning regulations effectively define the setback (or minimum yard) as the limit beyond which STRUCTURES may not be constructed. The definition of a STRUCTURE is much broader than that of a BUILDING, and includes such elements as fences.

We are proposing no BUILDINGS beyond the applicable setbacks, but are proposing numerous STRUCTURES within the applicable setbacks, as addressed for each zoning district below.

§ 158.020 RESIDENTIAL DISTRICTS.

§ 158.020.02 BULK AND YARD STANDARDS.

(A) Table 158.020(A): Residential District Bulk and Yard Regulations establish bulk and yard regulations for the residential zoning districts. These regulations apply to all uses within that district unless a different standard is listed for a specific use.

(1) MHP District Bulk and Yard Regulations are set forth in Chapter 152 of this code of ordinances.

Table 158:020(A): Residential District Bulk and Yard Regulations

BULK AND YARD	R-1
Lot Dimensions	
Lot Width (minimum)	60 feet
Corner Lot Width (minimum)	70 feet
Lot Area (minimum)	6,000 square feet
Lot Area (minimum) per dwelling unit	6,000 square feet
Lot Depth (minimum)	100 feet
Front (minimum) feet	25 feet
Side - Interior Lots (minimum) feet	10 feet one side, 5 feet on the other
Side - Street Lots (minimum) feet	15 feet back to back
Side - Corner Lots (minimum) feet	25 feet on other lots
Rear (minimum) feet	20 feet
Intensity	R-1
Lot Coverage (maximum)	NA
Height (maximum) feet	35 feet or 2-1/2 stories
Intensity of Use (maximum)	1 dwelling per lot

Notes:

1. Lot width measured at required front yard setback.
2. Setbacks are measured from the outside edge of the public right-of-way.
3. If 50% or more of the lots on one side of a street between two intersecting streets are improved with buildings which have observed an average setback line greater or less than 25 feet and no building varies more than five feet from this average setback line, then said building may be erected at the setback so established by the existing buildings.
4. Lot coverage measured as combined total area covered by main and accessory buildings.

Within the R-1 district, these structures are proposed within the setbacks:

- 6 • Sidewalks, concrete pads, and other paving
- 7 • Fences, gates, markers/columns, and signage
- 8 • Sports field and pedestrian light poles
- 9 • Canopies, bleachers, benches at dugouts
- 10 • Landscaping elements (plantings, etc.)

§ 158.023 SPECIAL DISTRICTS.

§ 158.023.02 BULK AND YARD STANDARDS.

Table 158.023(A): Special District Bulk and Yard Regulations establish bulk and yard regulations for the residential zoning districts. These regulations apply to all uses within that district unless a different standard is listed for a specific use.

Table 158.023(A): Special District Bulk and Yard Standards

BULK AND YARD	E-I
Lot Dimensions	
Lot Width (minimum)	None
Corner Lot Width (minimum)	None
Lot Area (minimum)	None
Lot Area (minimum) per dwelling unit	None
Lot Depth (minimum)	None
Setbacks	E-I
Front (minimum) feet	25 feet
Side - Interior Lots (minimum) feet	15 feet
Side - Street Lots (minimum) feet	25 feet
Side - Corner Lots (minimum) feet	25 feet
Rear (minimum) feet	15 feet
Intensity	E-I
Lot Coverage (maximum)	None
Height (maximum) feet	None
Intensity of Use (maximum)	None

Notes:

1. Lot width measured at required front yard setback.
2. Setbacks are measured from the outside edge of the public right-of-way.
3. If 50% or more of the lots on one side of a street between two intersecting streets are improved with buildings which have observed an average setback line greater or less than 25 feet and no building varies more than five feet from this average setback line, then said building may be erected at the setback so established by the existing buildings.
4. Lot coverage measured as combined total area covered by main and accessory buildings.

§ 158.023.03 SPECIAL DISTRICT DESIGN STANDARDS.

Development within the special districts shall comply with the following design standards.

(A) All residential and nonresidential buildings shall comply with the Building Code(s) adopted by the City of Bethany.

(B) Structures shall face a public or private street. If the structure is located on a corner lot, the structure should face and be addressed from the street which the front yard abuts, as shown on the approved plat of the addition the structure is located.

(C) *Building materials.*

...

(4) The following provisions shall apply in E-I district:

...

(b) The front, side and rear setbacks for buildings located in the E-I district may be reduced to no less than ten feet on any side where the property abuts or is separated only by a street or alley from property zoned **or used** for E-I. The reduced setbacks shall not be permitted for that side or portion of the E-I property which abuts an expressway or major thoroughfare.

...

Within the E-I district, these structures are proposed within the setbacks:

- 11 • Sidewalks, concrete pads, and other paving
- 12 • Fences, gates, markers/columns, and signage
- 13 • Sports field and pedestrian light poles
- 14 • Benches at dugouts and playground areas
- 15 • Canopies and bleachers

- 16 • Shade sails, playground equipment (fixed), and spray ground equipment (fixed)
- 17 • Landscaping elements (plantings, berms, boulders, etc.)

§ 158.037 FENCES.

(A) Except as provided in this section, the maximum height for all fences is eight feet. Fence heights will be measured from the highest elevation on either side of the fence.

- 18 Within E-I district, proposed backstop fencing will exceed 8' in height. Backstop fencing of up to 18' height is currently planned. This is planned as black vinyl-coated chain link, <20% opacity.
- 19 Within R-1 district, proposed backstop fencing will exceed 8' in height. Backstop fencing of up to 18' height is currently planned. This is planned as black vinyl-coated chain link, <20% opacity.

§ 158.037 FENCES.

(B) Fence heights are further limited in the following circumstances:

- (1) Fences in front yard setback are limited to 4 feet in height; except fences with greater than 20% opacity shall not exceed three feet in height for that portion of a fence located within five feet of the property line, or 17 feet from the edge of the street pavement, whichever distance is greater.

- 20 Within E-I district, proposed perimeter fencing along the property line, within the front yard setback, will exceed 4' in height. Perimeter fencing of 6' height is currently planned, to satisfy BFC's insurance carrier. This is planned as either black vinyl-coated chain link, or a decorative black painted steel or aluminum (wrought iron style), <20% opacity.
- 21 Within E-I district, proposed backstop fencing already discussed, falls within the side yard setback,
- 22 Within R-1 district, proposed perimeter fencing along the property line, within the front yard setback, will exceed 4' in height. Perimeter fencing of 6' height is currently planned, to satisfy BFC's insurance carrier. This is planned as either black vinyl-coated chain link, or a decorative black painted steel or aluminum (wrought iron style), <20% opacity.
- 23 Within R-1 district, proposed backstop fencing already discussed, falls within the front yard setback,

§ 158.037 FENCES.

(B) Fence heights are further limited in the following circumstances:

- ...
- (2) Fences located in side yards of corner lots abutting the front yards of an adjacent lot are restricted to the same height limits as set forth in division (B)(1) above.

- 24 Within E-I district, proposed perimeter fencing along the property line, within the side yard setback on back-to-back corner lots, will exceed 4' in height. The adjacent lots in question are also BFC-owned and part of the proposed development of this project. Perimeter fencing of 6' height is currently planned, to satisfy BFC's insurance carrier. This is planned as either black vinyl-coated chain link, or a decorative black painted steel or aluminum (wrought iron style), <20% opacity.
- 25 Within R-1 district, proposed perimeter fencing along the property line, within the side yard setback on a corner lot abutting the front yard of an adjacent lot, will exceed 4' in height. The immediately-adjacent lots in question are also BFC-owned and part of the proposed development of this project. Perimeter fencing of 6' height is currently planned, to satisfy BFC's insurance carrier. This is planned as either black vinyl-coated chain link, or a decorative black painted steel or aluminum (wrought iron style), <20% opacity.

2018 IBC Chapter 32: Encroachments into the Public Right-of-way

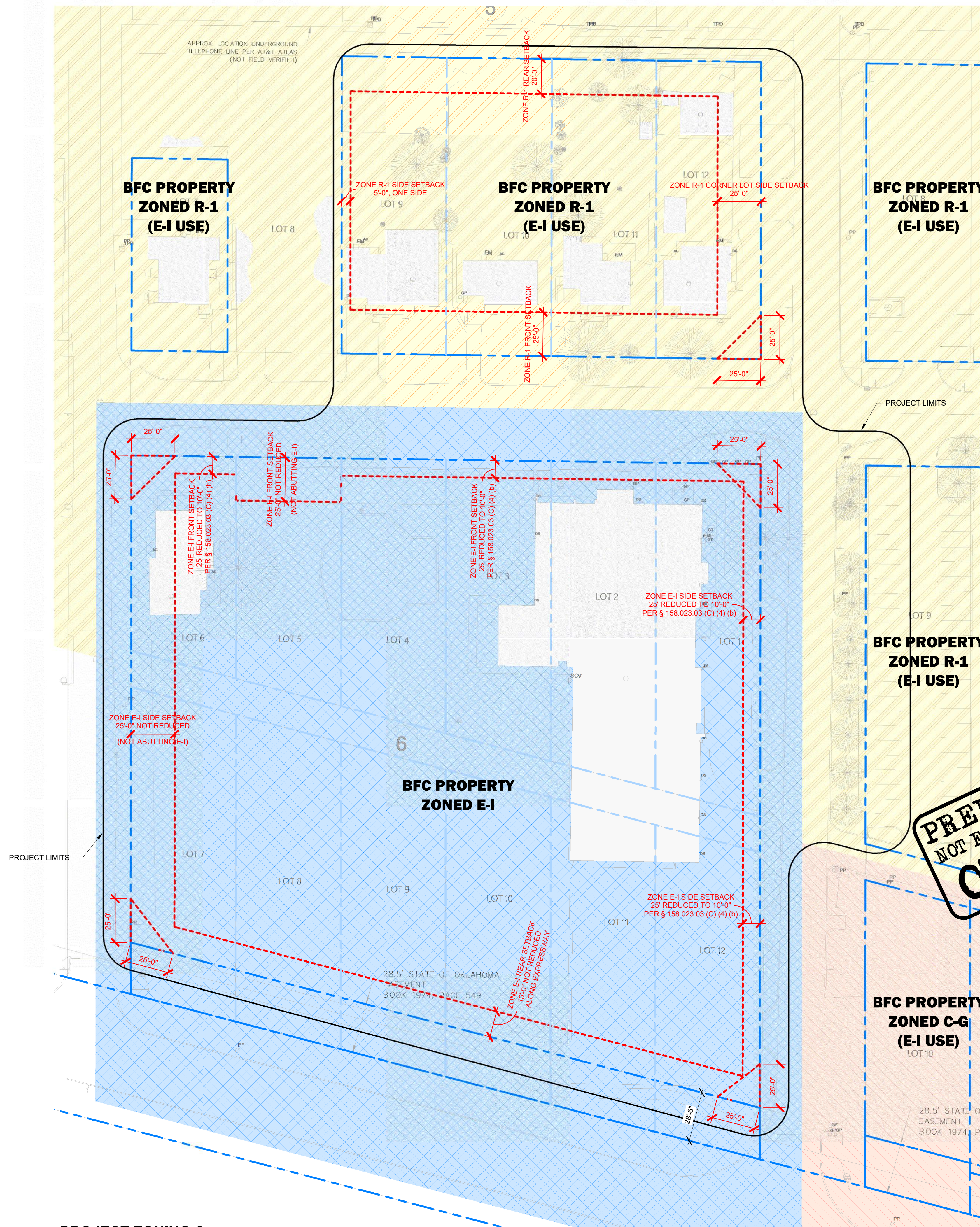
SECTION 3202 ENCROACHMENTS

3202.2 Encroachments above grade and below 8 feet in height. Encroachments into the public right-of-way above grade and below 8 feet (2438 mm) in height shall be prohibited except as provided for in Sections 3202.2.1 through 3202.2.3. Doors and windows shall not open or project into the public right of way.

...

3202.2.2 Architectural features. Columns or pilasters, including bases and moldings, shall not project more than 12 inches (305 mm). Belt courses, lintels, sills, architraves, pediments and similar architectural features shall not project more than 4 inches (102 mm).

- 26 Within E-I district, proposed perimeter fencing along the property line incorporates decorative columns that project not more than 12 inches into the Right-of-Way, in compliance with this provision.
- 27 Within R-1 district, proposed perimeter fencing along the property line incorporates decorative columns that project not more than 12 inches into the Right-of-Way, in compliance with this provision.



PROJECT ZONING & SETBACKS
 1
 A0.0 1/32" = 1'-0"

PROJECT TEAM
OWNER
 BETHANY FIRST CHURCH OF THE NAZARENE
 6789 Northwest 39th Expressway
 Bethany, OK 73008
 405-789-2050 Phone

CONSTRUCTION MANAGER
 LINGO CONSTRUCTION SERVICES, INC
 1135 N. Robinson Avenue
 Oklahoma City, OK 73103
 405-602-2100 Phone

ARCHITECT/INTERIOR DESIGNER
 TROY D. RHODES & COMPANY, INC
 4323 N.W. 63rd Street, Suite 201
 Oklahoma City, OK 73116
 405-843-8600 Phone
 405-843-8601 Fax

CIVIL ENGINEER
 SMITH ROBERTS BALDISCHWILER, LLC
 100 N.E. 5th Street
 Oklahoma City, OK 73104
 405-840-7094 Phone

STRUCTURAL ENGINEER
 WALLACE DESIGN COLLECTIVE
 410 N. Walnut Avenue, Suite 200
 Oklahoma City, OK 73104
 405-236-5858 Phone

MEP ENGINEER
 DARR & COLLINS, LLC CONSULTING ENGINEERS
 1425 N.W. 150th Street
 Edmond, OK 73013
 405-285-2400 Phone

LANDSCAPE ARCHITECT
 HFSD, INC
 3100 N.W. 149th Street
 Oklahoma City, OK 73134
 405-752-8018 Phone



BETHANY FIRST CHURCH OF THE NAZARENE
CAMPUS RENEWAL PHASE 1

PROJECT ADDRESS
 6900 N.W. 41st Street
 Bethany, OK 73008

PROJECT NO. 22391.00
DRAWN BY Author
CHECKED BY Checker
APPROVED BY Approver

PRELIMINARY
NOT FOR CONSTRUCTION
07/19/23

SHEET ISSUE DATE HISTORY		
NO.	DATE	DESCRIPTION

PROJECT PHASE
 SCHEMATIC DESIGN

SHEET DESCRIPTION
 ARCHITECTURAL SITE PLAN - ZONING & SETBACKS

ISSUE DATE _____ **DATE** _____

SHEET NUMBER _____ **A0.0**

GENERAL NOTES:

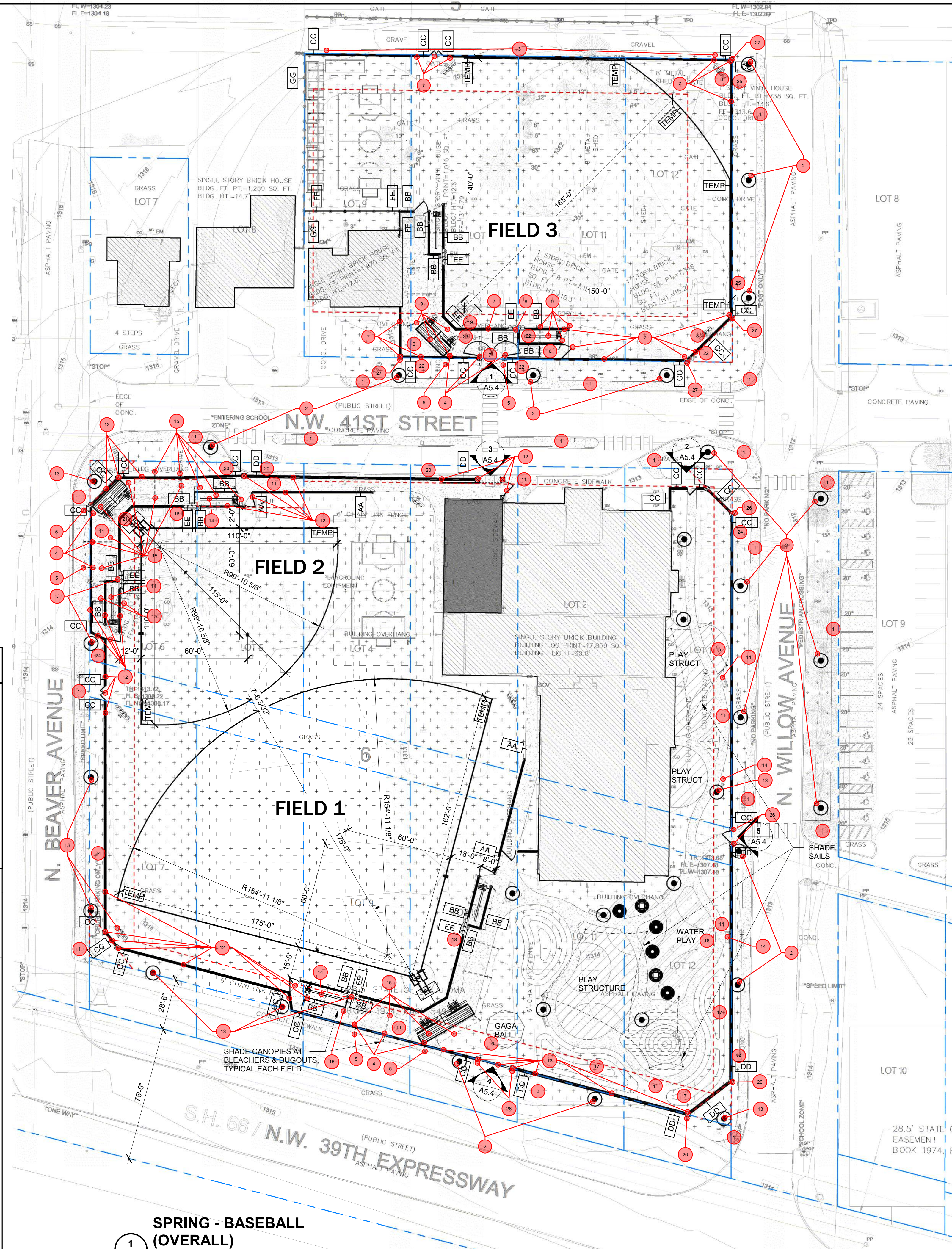
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND FLAGGING ALL BURIED UTILITIES AND SERVICES THAT ARE LOCATED IN THE AREA OF NEW WORK.
- B. CONCRETE WALKS SHALL HAVE A MAXIMUM SLOPE OF 1:20 (5%) AND A MAXIMUM CROSS SLOPE OF 1:50 (2%).
- C. ALL DIMENSIONS AND CONDITIONS INDICATED RELATIVE TO THE EXISTING CONSTRUCTION ARE APPROXIMATES BASED ON AS-BUILT DRAWINGS FOR THE ORIGINAL SITE AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION SHOWN AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS PRIOR TO BEGINNING WORK.
- D. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE. NO MATERIAL STORAGE OR CONSTRUCTION ACTIVITY MAY OCCUR WITHIN THE DRIP LINE OF THE TREE, UNLESS SPECIFICALLY NOTED.
- E. THE CONTRACTOR WILL BE PROVIDED AN AREA AT THE SITE FOR STAGING AND STORAGE OF MATERIALS. A FENCE ENCLOSURE SHALL BE REQUIRED. THE FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT. ALL DAMAGE TO THE GROUNDS SHALL BE RESTORED TO MEET OR EXCEED EXISTING CONDITIONS.
- F. ALL DEBRIS RESULTING FROM DEMOLITION AND/OR OTHER OPERATIONS SHALL BE REMOVED FROM THE SITE AND NOT ALLOWED TO ACCUMULATE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS.
- G. THE OWNER RESERVES THE RIGHT TO INSPECT ALL SALVAGED MATERIAL AND EQUIPMENT AND WILL RETAIN OWNERSHIP OF ANY AND ALL MATERIAL AND EQUIPMENT THEY DESIRE. THE OWNER WILL REMOVE FROM THE PREMISES ANY MATERIAL OR EQUIPMENT THEY DESIRE TO RETAIN, AND THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL OTHER SALVAGED MATERIAL AND DEBRIS.
- H. AFTER ALL CONSTRUCTION OPERATIONS ARE COMPLETE, REMOVE ALL TEMPORARY CONSTRUCTION BARRICADES, FENCES AND GRAVEL ACCESS DRIVES. FINISH GRADE THE SUBJECT AREAS AND OTHER AREAS AS DAMAGED BY CONSTRUCTION TRAFFIC BACK TO ORIGINAL GRADES WITH TOPSOIL UNLESS SHOWN OTHERWISE IN THE DRAWINGS.
- I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL GRADING AND TOP-SOILING AROUND THE PROJECT. CONTRACTOR SHALL SLOPE FINAL GRADES TO BLEND WITH EXISTING CONTOURS AT LIMITS OF GRADING.
- J. NEW PAVING ELEVATIONS SHALL MATCH EXISTING ADJACENT PAVING ELEVATIONS, TYPICAL.
- K. REFER TO CIVIL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE AND UTILITY WORK.
- L. PROVIDE AN EROSION CONTROL SILT FENCE TO MEET LOCAL CITY REQUIREMENTS.
- M. ANY DAMAGE TO THE EXISTING GROUNDS OR FACILITIES CAUSED BY CONSTRUCTION TRAFFIC OR ANY CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER. IF PORTIONS OF EXISTING CONCRETE WALKS, DRIVES, OR CURBS, WHICH ARE NOTED TO REMAIN, ARE DAMAGED BY NEW CONSTRUCTION WORK, THEN THE DAMAGED PORTIONS SHALL BE SAW CUT, REMOVED, AND REPLACED WITH NEW CONCRETE TO MATCH EXISTING CONFIGURATIONS, FINISH, AND EXISTING ELEVATIONS.

SITE PLAN LEGEND

	EXISTING BUILDING TO REMAIN		NEW SYNTHETIC TURF
	NEW PROPOSED BUILDING		NEW SOD
	EXISTING PAVING, GRASS, ETC. TO REMAIN		NEW PLAYGROUND SURFACING
	NEW CONCRETE PAVING. MODIFY SUB-GRADE AS SPECIFIED IN SOILS REPORT.		-
	NEW 4" CONCRETE SIDEWALK PAVING WITH 6" THICKENED EDGES.		-
	NEW COLORED/TEXTURED DECORATIVE CONCRETE PAVING		-

FENCING SCHEDULE

Type Mark	Base Bid	Alternate 1	Alternate 2
AA	MANUF: GENERIC TYPE: CHAIN LINK STYLE: BLACK VINYL COATED HEIGHT: 4'-0" BASE: CONCRETE MOW STRIP, 12" WIDTH MIN.		
BB	MANUF: GENERIC TYPE: CHAIN LINK STYLE: BLACK VINYL COATED HEIGHT: 6'-0" BASE: CONCRETE MOW STRIP, 12" WIDTH MIN.		
CC	MANUF: GENERIC TYPE: CHAIN LINK STYLE: BLACK VINYL COATED HEIGHT: 6'-0" BASE: CONCRETE MOW STRIP, 12" WIDTH MIN.	MANUF: AMERISTAR TYPE: MONTAGE PLUS, POOL PET & PLAY (3" PICKET SPACING) STYLE: MAJESTIC HEIGHT: 6'-0" BASE: CONCRETE MOW STRIP, 12" WIDTH MIN.	
DD	MANUF: GENERIC TYPE: CHAIN LINK STYLE: BLACK VINYL COATED HEIGHT: 6'-0" BASE: CONCRETE MOW STRIP, 12" WIDTH MIN.	MANUF: AMERISTAR TYPE: MONTAGE PLUS, POOL PET & PLAY (3" PICKET SPACING) STYLE: MAJESTIC HEIGHT: 6'-0" BASE: CONCRETE MOW STRIP, 12" WIDTH MIN.	MANUF: AMERISTAR TYPE: STALWART II PU30-P2 + MONTAGE PLUS, POOL PET & PLAY (VEHICLE CRASH RATED) STYLE: MAJESTIC HEIGHT: 8'-0" BASE: CONCRETE MOW STRIP, 16" WIDTH MIN.
EE	MANUF: GENERIC TYPE: CHAIN LINK STYLE: BLACK VINYL COATED HEIGHT: 15'-0" BASE: CONCRETE MOW STRIP, 12" WIDTH MIN.	MANUF: GENERIC TYPE: CHAIN LINK STYLE: BLACK VINYL COATED HEIGHT: 15'-0" + 2'-0" CURB BASE: CONCRETE CURB, 24" MIN HEIGHT ABOVE GRADE, WIDTH AND DEPTH AS REQ'D.	
FF	MANUF: GENERIC TYPE: WOOD STOCKADE STYLE: DOG EAR CEDAR HEIGHT: 8'-0" BASE: CONCRETE MOW STRIP, 12" WIDTH MIN.		
GG	EXISTING TO REMAIN	REPLACE EXISTING WITH TYPE FF	
TEMP	TEMPORARY SPORTS FENCING BY OWNER		



**SPRING - BASEBALL
(OVERALL)**
1
A0.1 1/32" = 1'-0"

BLEACHER SEATING...

LOCATION	SEATS PROVIDED (INCL ADA & COMPANION)		REQUIRED	
	TOTAL SEATS	ADA SPACES	ADA SPACES	ADA SPACES
FIELD 1				
DUGOUT - 1ST BASE	13	1	1	1
DUGOUT - 3RD BASE	13	1	1	1
SPECTATOR BLEACHERS	72	4	4	4
FIELD 2				
DUGOUT - 1ST BASE	13	1	1	1
DUGOUT - 3RD BASE	13	1	1	1
SPECTATOR BLEACHERS	42	2	2	2
FIELD 3				
DUGOUT - 1ST BASE	13	1	1	1
DUGOUT - 3RD BASE	13	1	1	1
SPECTATOR BLEACHERS	42	2	2	2
TOTAL	234	14	14	14

NOT DEPICTED
3 10 17
TREES, SHRUBS, FLOWERS, ETC.

**PRELIMINARY
NOT FOR CONSTRUCTION
07/19/23**

DR TRANSFORMS
TROY D. RHODES & COMPANY
ARCHITECTURE INTERIOR DESIGN
MASTER PLANNING | SIGNAGE & WAYFINDING | GRAPHIC DESIGN

PROJECT TEAM
OWNER
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405-789-2050 Phone

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LANDSCAPE ARCHITECT
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405-752-8018 Phone

PROJECT DESCRIPTION

BFC

BETHANY FIRST CHURCH OF THE NAZARENE
**CAMPUS RENEWAL
PHASE 1**

PROJECT ADDRESS
6900 N.W. 41st Street
Bethany, OK 73008

PROJECT NO.
22391.00

DRAWN BY
Author

CHECKED BY
Checker

APPROVED BY
Approver

SHEET ISSUE DATE HISTORY

NO.	DATE	DESCRIPTION

PROJECT PHASE
SCHEMATIC DESIGN

SHEET DESCRIPTION
**ARCHITECTURAL SITE
PLAN**

ISSUE DATE _____ **DATE** _____

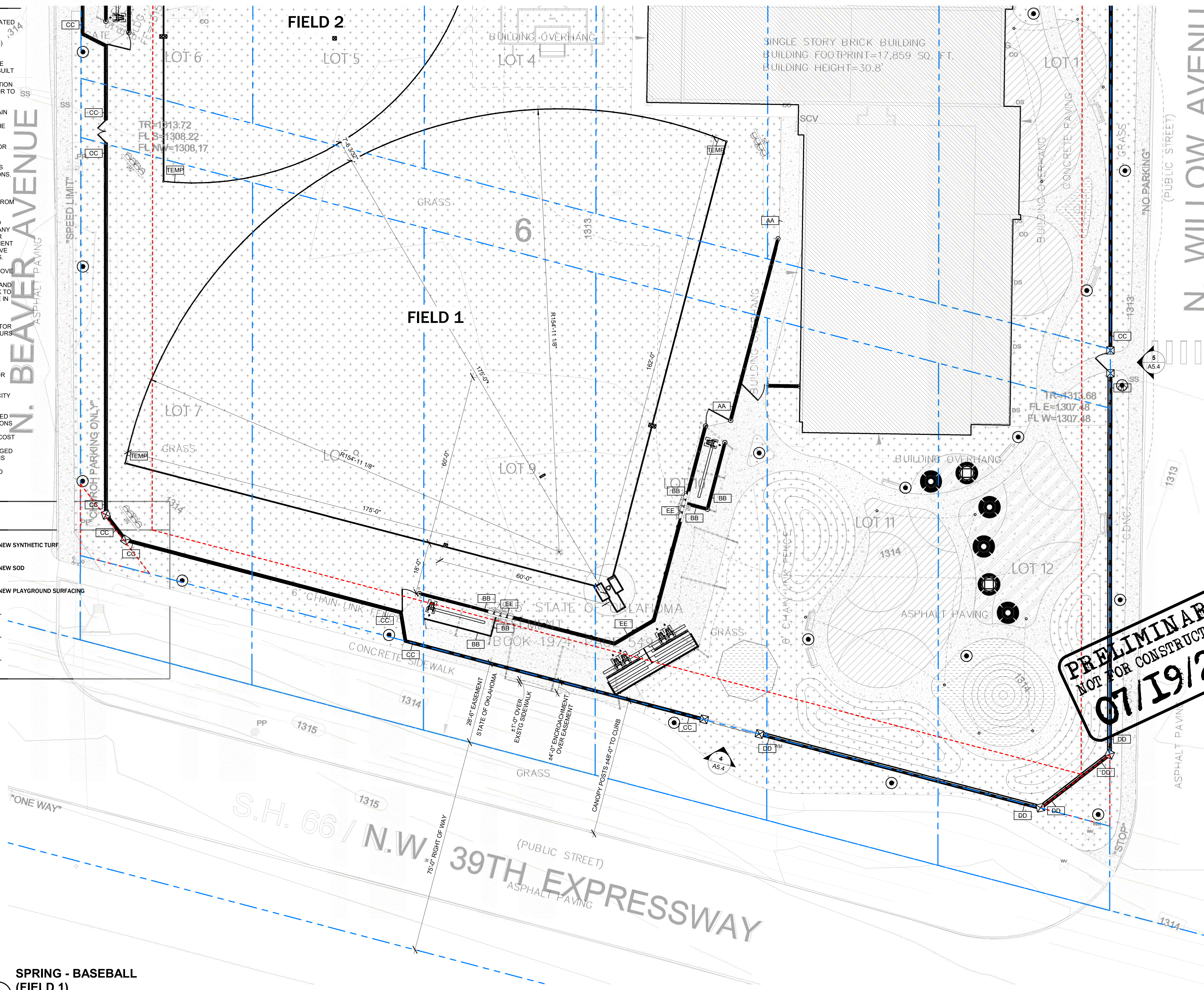
SHEET NUMBER
A0.1

GENERAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND FLAGGING ALL BURIED UTILITIES AND SERVICES THAT ARE LOCATED IN THE AREA OF NEW WORK.
- B. CONCRETE WALKS SHALL HAVE A MAXIMUM SLOPE OF 1:20 (5%) AND A MAXIMUM CROSS SLOPE OF 1:50 (2%).
- C. ALL DIMENSIONS AND CONDITIONS INDICATED RELATIVE TO THE EXISTING CONSTRUCTION ARE APPROXIMATES BASED ON AS-BUILT DRAWINGS FOR THE ORIGINAL SITE AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION SHOWN AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS PRIOR TO BEGINNING WORK.
- D. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE. NO MATERIAL STORAGE OR CONSTRUCTION ACTIVITY MAY OCCUR WITHIN THE DRIP LINE OF THE TREE, UNLESS SPECIFICALLY NOTED.
- E. THE CONTRACTOR WILL BE PROVIDED AN AREA AT THE SITE FOR STAGING AND STORAGE OF MATERIALS. A FENCE ENCLOSURE SHALL BE REQUIRED. THE FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT. ALL DAMAGE TO THE GROUNDS SHALL BE RESTORED TO MEET OR EXCEED EXISTING CONDITIONS.
- F. ALL DEBRIS RESULTING FROM DEMOLITION AND/OR OTHER OPERATIONS SHALL BE REMOVED FROM THE SITE AND NOT ALLOWED TO ACCUMULATE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS.
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- H. AFTER ALL CONSTRUCTION OPERATIONS ARE COMPLETE, REMOVE ALL TEMPORARY CONSTRUCTION BARRICADES, FENCES AND GRAVEL ACCESS DRIVES. FINISH GRADE THE SUBJECT AREAS AND OTHER AREAS AS DAMAGED BY CONSTRUCTION TRAFFIC BACK TO ORIGINAL GRADES WITH TOPSOIL UNLESS SHOWN OTHERWISE IN THE DRAWINGS.
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SITE PLAN LEGEND

- EXISTING BUILDING TO REMAIN
- NEW PROPOSED BUILDING
- EXISTING PAVING, GRASS, ETC. TO REMAIN
- NEW CONCRETE PAVING. MODIFY SUB-GRADE AS SPECIFIED IN SOILS REPORT.
- NEW 4" CONCRETE SIDEWALK PAVING WITH 6" THICKENED EDGES.
- NEW COLORED/TEXTURED DECORATIVE CONCRETE PAVING
- NEW SYNTHETIC TURF
- NEW SOD
- NEW PLAYGROUND SURFACING



1
A0.2
1/16" = 1'-0"

ARCHITECT

DR
TRANSFORMS
TROY D. RHODES & COMPANY

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MASTER PLANNING | SIGNAGE & WAYFINDING | GRAPHIC DESIGN

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PROJECT DESCRIPTION

BFC

BETHANY FIRST CHURCH OF THE NAZARENE

**CAMPUS RENEWAL
PHASE 1**

PROJECT ADDRESS
6900 N.W. 41st Street
Bethany, OK 73008

PROJECT NO. 22391.00

DRAWN BY Author

CHECKED BY Checker

APPROVED BY Approver

**PRELIMINARY
NOT FOR CONSTRUCTION**
07/19/23

SHEET ISSUE DATE HISTORY

NO.	DATE	DESCRIPTION

PROJECT PHASE
SCHEMATIC DESIGN

SHEET DESCRIPTION
**ARCHITECTURAL SITE
PLAN**

ISSUE DATE	DATE

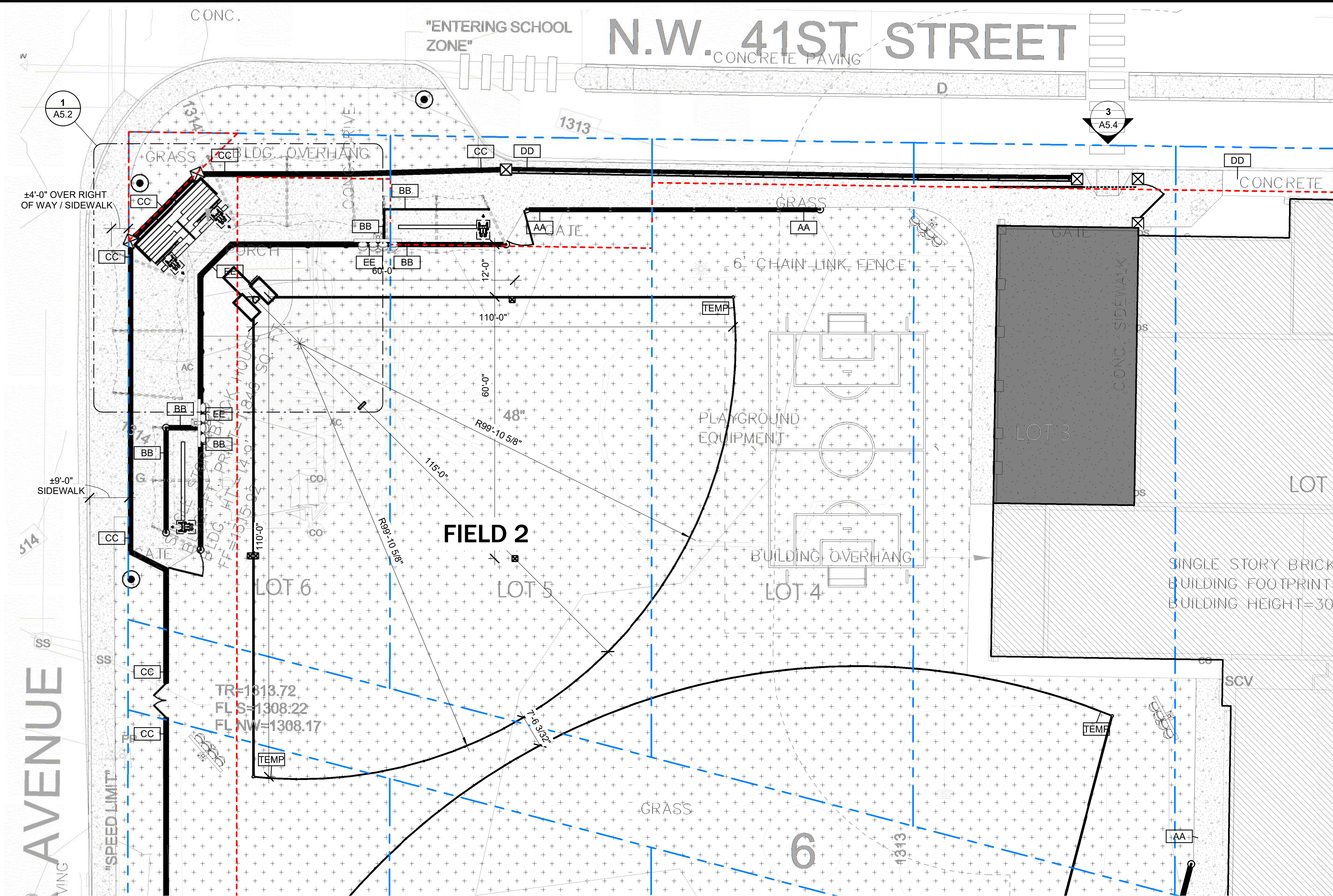
SHEET NUMBER
A0.2

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SITE PLAN LEGEND

	EXISTING BUILDING TO REMAIN		NEW SYNTHETIC TURF
	NEW PROPOSED BUILDING		NEW SOD
	EXISTING PAVING, GRASS, ETC. TO REMAIN		NEW PLAYGROUND SURFACING
	NEW CONCRETE PAVING. MODIFY SUB-GRADE AS SPECIFIED IN SOILS REPORT.		-
	NEW 4" CONCRETE SIDEWALK PAVING WITH 6" THICKENED EDGES.		-
	NEW COLORED/TEXTURED DECORATIVE CONCRETE PAVING		-



SPRING - BASEBALL (FIELD 2)
 1/16" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION
 07/19/23



PROJECT TEAM
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 BETHANY FIRST CHURCH OF THE NAZARENE
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 405-752-8018 Phone

PROJECT DESCRIPTION



BETHANY FIRST CHURCH OF THE NAZARENE
CAMPUS RENEWAL PHASE 1

PROJECT ADDRESS
 6900 N.W. 41st Street
 Bethany, OK 73008

PROJECT NO. 22391.00
DRAWN BY Author
CHECKED BY Checker
APPROVED BY Approver

SHEET ISSUE DATE HISTORY		
NO.	DATE	DESCRIPTION

PROJECT PHASE
 SCHEMATIC DESIGN

SHEET DESCRIPTION
 ARCHITECTURAL SITE PLAN

ISSUE DATE _____ **DATE** _____

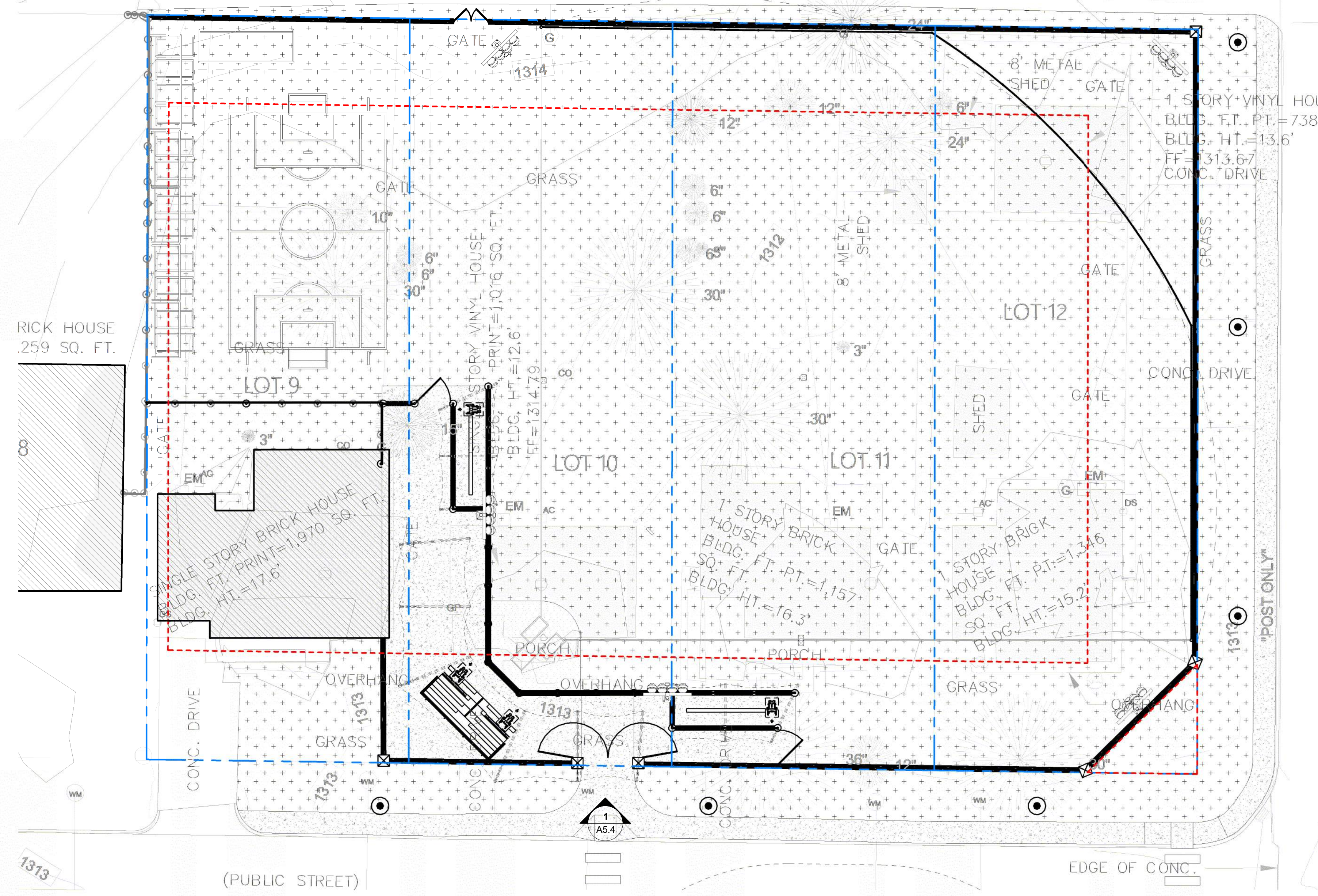
SHEET NUMBER
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GENERAL NOTES:

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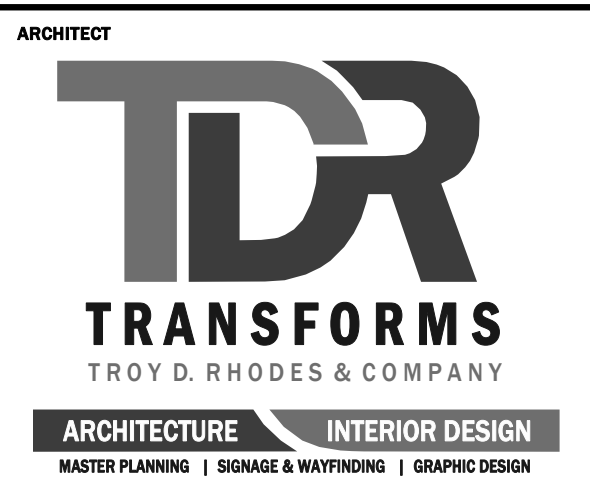
SITE PLAN LEGEND

	EXISTING BUILDING TO REMAIN		NEW SYNTHETIC TURF
	NEW PROPOSED BUILDING		NEW SOD
	EXISTING PAVING, GRASS, ETC. TO REMAIN		NEW PLAYGROUND SURFACING
	NEW CONCRETE PAVING. MODIFY SUB-GRADE AS SPECIFIED IN SOILS REPORT.	-	-
	NEW 4" CONCRETE SIDEWALK PAVING WITH 6" THICKENED EDGES.	-	-
	NEW COLORED/TEXTURED DECORATIVE CONCRETE PAVING	-	-



1
A0.4 **SPRING - BASEBALL (FIELD 3)**
1/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
07/19/23



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OWNER
 BETHANY FIRST CHURCH OF THE NAZARENE
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BETHANY FIRST CHURCH OF THE NAZARENE
CAMPUS RENEWAL
PHASE 1

PROJECT ADDRESS
 6900 N.W. 41st Street
 Bethany, OK 73008

PROJECT NO. 22391.00
DRAWN BY Author
CHECKED BY Checker
APPROVED BY Approver

SHEET ISSUE DATE HISTORY		
NO.	DATE	DESCRIPTION

PROJECT PHASE
SCHEMATIC DESIGN

SHEET DESCRIPTION
ARCHITECTURAL SITE PLAN

ISSUE DATE _____ **DATE** _____

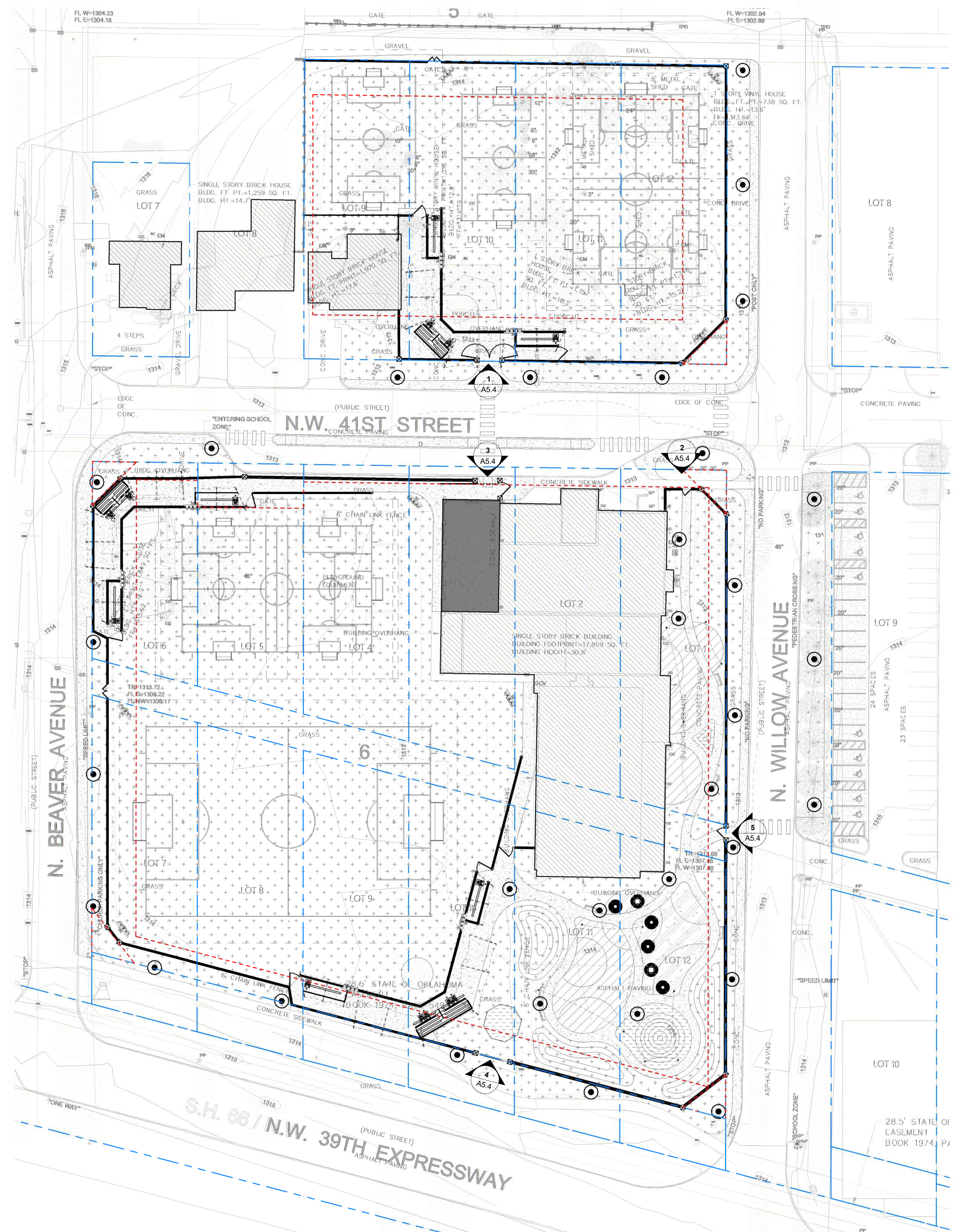
SHEET NUMBER
A0.4

GENERAL NOTES:

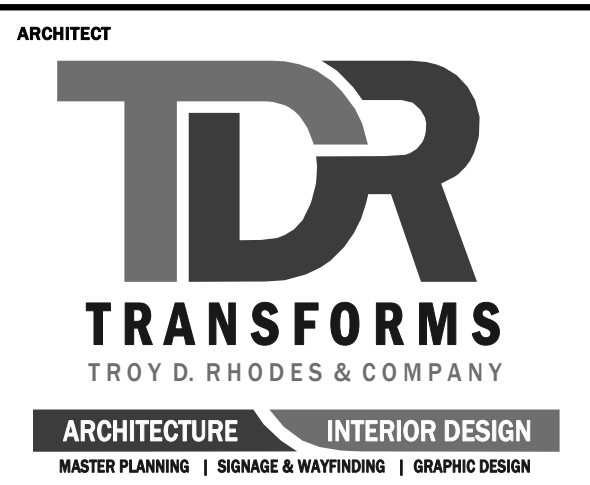
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SITE PLAN LEGEND

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FALL - SOCCER (OVERALL)
 1
 A0.5 1/32" = 1'-0"



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LANDSCAPE ARCHITECT
 HFSO, INC
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 405-752-8018 Phone



BETHANY FIRST CHURCH OF THE NAZARENE
CAMPUS RENEWAL PHASE 1
 PROJECT ADDRESS
 6900 N.W. 41st Street
 Bethany, OK 73008

PROJECT NO. 22391.00
 DRAWN BY Author
 CHECKED BY Checker
 APPROVED BY Approver

PRELIMINARY
 NOT FOR CONSTRUCTION
 07/19/23

SHEET ISSUE DATE HISTORY		
NO.	DATE	DESCRIPTION

PROJECT PHASE
SCHEMATIC DESIGN

SHEET DESCRIPTION
ARCHITECTURAL SITE PLAN

ISSUE DATE
 DATE

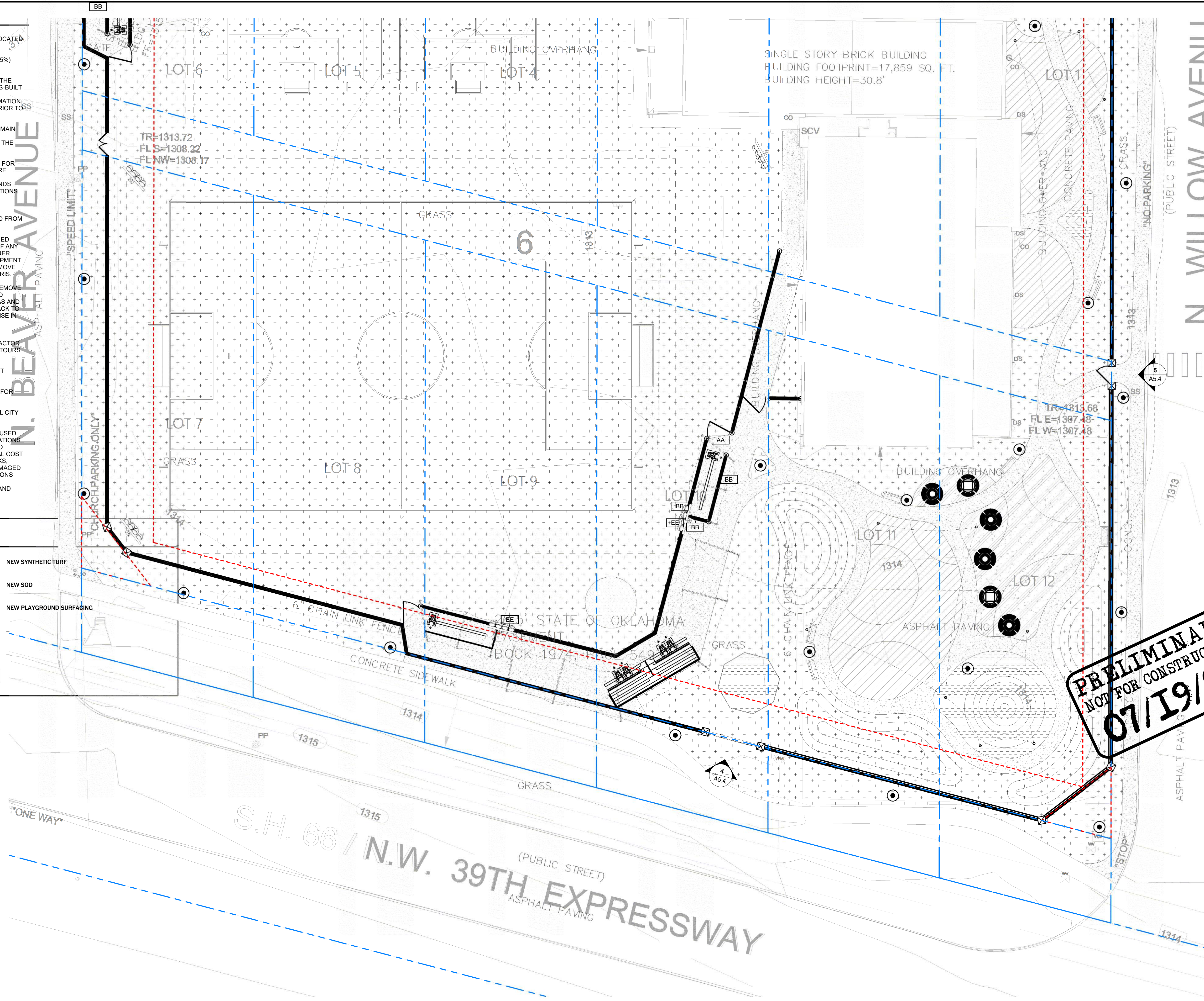
SHEET NUMBER
A0.5

GENERAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND FLAGGING ALL BURIED UTILITIES AND SERVICES THAT ARE LOCATED IN THE AREA OF NEW WORK.
- B. CONCRETE WALKS SHALL HAVE A MAXIMUM SLOPE OF 1:20 (5%) AND A MAXIMUM CROSS SLOPE OF 1:50 (2%).
- C. ALL DIMENSIONS AND CONDITIONS INDICATED RELATIVE TO THE EXISTING CONSTRUCTION ARE APPROXIMATES BASED ON AS-BUILT DRAWINGS FOR THE ORIGINAL SITE AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION SHOWN AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS PRIOR TO BEGINNING WORK.
- D. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE. NO MATERIAL STORAGE OR CONSTRUCTION ACTIVITY MAY OCCUR WITHIN THE DRIP LINE OF THE TREE, UNLESS SPECIFICALLY NOTED.
- E. THE CONTRACTOR WILL BE PROVIDED AN AREA AT THE SITE FOR STAGING AND STORAGE OF MATERIALS. A FENCE ENCLOSURE SHALL BE REQUIRED. THE FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT. ALL DAMAGE TO THE GROUNDS SHALL BE RESTORED TO MEET OR EXCEED EXISTING CONDITIONS.
- F. ALL DEBRIS RESULTING FROM DEMOLITION AND/OR OTHER OPERATIONS SHALL BE REMOVED FROM THE SITE AND NOT ALLOWED TO ACCUMULATE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS.
- G. THE OWNER RESERVES THE RIGHT TO INSPECT ALL SALVAGED MATERIAL AND EQUIPMENT AND WILL RETAIN OWNERSHIP OF ANY AND ALL MATERIAL AND EQUIPMENT THEY DESIRE. THE OWNER WILL REMOVE FROM THE PREMISES ANY MATERIAL OR EQUIPMENT THEY DESIRE TO RETAIN, AND THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL OTHER SALVAGED MATERIAL AND DEBRIS.
- H. AFTER ALL CONSTRUCTION OPERATIONS ARE COMPLETE, REMOVE ALL TEMPORARY CONSTRUCTION BARRICADES, FENCES AND GRAVEL ACCESS DRIVES. FINISH GRADE THE SUBJECT AREAS AND OTHER AREAS AS DAMAGED BY CONSTRUCTION TRAFFIC BACK TO ORIGINAL GRADES WITH TOPSOIL UNLESS SHOWN OTHERWISE IN THE DRAWINGS.
- I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL GRADING AND TOP-SOILING AROUND THE PROJECT. CONTRACTOR SHALL SLOPE FINAL GRADES TO BLEND WITH EXISTING CONTOURS AT LIMITS OF GRADING.
- J. NEW PAVING ELEVATIONS SHALL MATCH EXISTING ADJACENT PAVING ELEVATIONS, TYPICAL.
- K. REFER TO CIVIL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE AND UTILITY WORK.
- L. PROVIDE AN EROSION CONTROL SILT FENCE TO MEET LOCAL CITY REQUIREMENTS.
- M. ANY DAMAGE TO THE EXISTING GROUNDS OR FACILITIES CAUSED BY CONSTRUCTION TRAFFIC OR ANY CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER. IF PORTIONS OF EXISTING CONCRETE WALKS, DRIVES, OR CURBS, WHICH ARE NOTED TO REMAIN, ARE DAMAGED BY NEW CONSTRUCTION WORK, THEN THE DAMAGED PORTIONS SHALL BE SAW CUT, REMOVED, AND REPLACED WITH NEW CONCRETE TO MATCH EXISTING CONFIGURATIONS, FINISH, AND EXISTING ELEVATIONS.

SITE PLAN LEGEND

- EXISTING BUILDING TO REMAIN
- NEW PROPOSED BUILDING
- EXISTING PAVING, GRASS, ETC. TO REMAIN
- NEW CONCRETE PAVING. MODIFY SUB-GRADE AS SPECIFIED IN SOILS REPORT.
- NEW 4" CONCRETE SIDEWALK PAVING WITH 6" THICKENED EDGES.
- NEW COLORED/TEXTURED DECORATIVE CONCRETE PAVING
- NEW SYNTHETIC TURF
- NEW SOD
- NEW PLAYGROUND SURFACING



1 FALL - SOCCER (FIELD 1)
A0.6 1/16" = 1'-0"

ARCHITECT

DR TRANSFORMS
TROY D. RHODES & COMPANY

ARCHITECTURE INTERIOR DESIGN
MASTER PLANNING | SIGNAGE & WAYFINDING | GRAPHIC DESIGN

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PROJECT DESCRIPTION

BETHANY FIRST CHURCH OF THE NAZARENE

**CAMPUS RENEWAL
PHASE 1**

PROJECT ADDRESS
6900 N.W. 41st Street
Bethany, OK 73008

PROJECT NO. 22391.00

DRAWN BY Author

CHECKED BY Checker

APPROVED BY Approver

**PRELIMINARY
NOT FOR CONSTRUCTION
07/19/23**

SHEET ISSUE DATE HISTORY

NO.	DATE	DESCRIPTION

PROJECT PHASE
SCHEMATIC DESIGN

SHEET DESCRIPTION
ARCHITECTURAL SITE PLAN

ISSUE DATE DATE

SHEET NUMBER

A0.6

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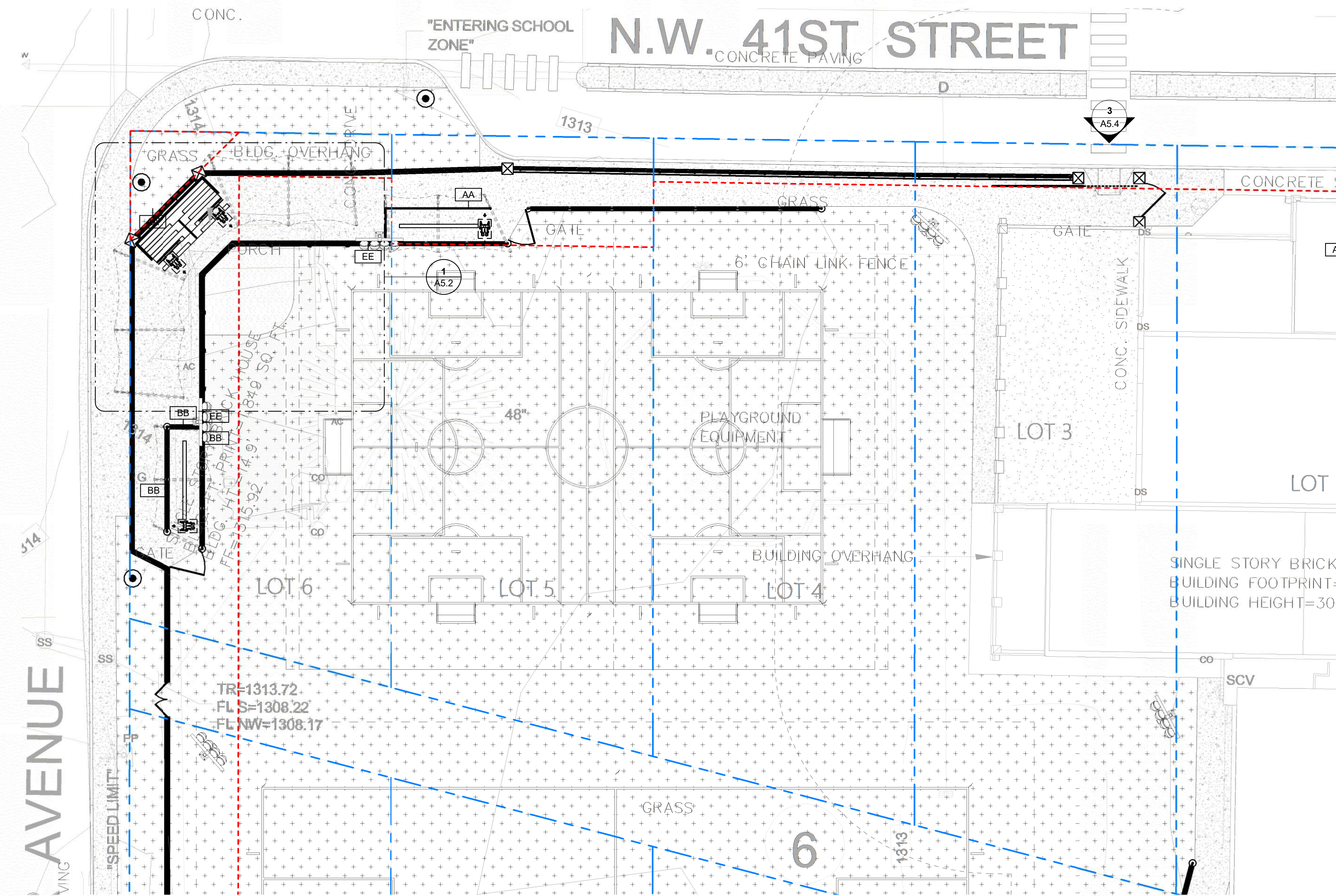
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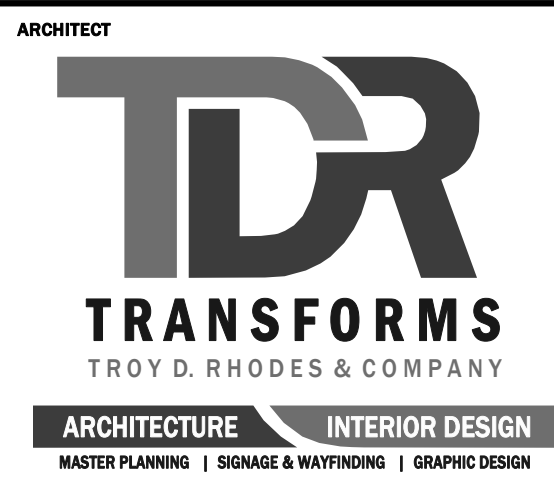
SITE PLAN LEGEND

	EXISTING BUILDING TO REMAIN		NEW SYNTHETIC TURF
	NEW PROPOSED BUILDING		NEW SOD
	EXISTING PAVING, GRASS, ETC. TO REMAIN		NEW PLAYGROUND SURFACING
	NEW CONCRETE PAVING. MODIFY SUB-GRADE AS SPECIFIED IN SOILS REPORT.		-
	NEW 4" CONCRETE SIDEWALK PAVING WITH 6" THICKENED EDGES.		-
	NEW COLORED/TEXTURED DECORATIVE CONCRETE PAVING		-

1 FALL - SOCCER (FIELD 2)
A0.7 1/16" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION
07/19/23



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BETHANY FIRST CHURCH OF THE NAZARENE
CAMPUS RENEWAL
PHASE 1

PROJECT ADDRESS
 6900 N.W. 41st Street
 Bethany, OK 73008

PROJECT NO. 22391.00
DRAWN BY Author
CHECKED BY Checker
APPROVED BY Approver

SHEET ISSUE DATE HISTORY		
NO.	DATE	DESCRIPTION

PROJECT PHASE
 SCHEMATIC DESIGN

SHEET DESCRIPTION
 ARCHITECTURAL SITE PLAN

ISSUE DATE _____ **DATE** _____

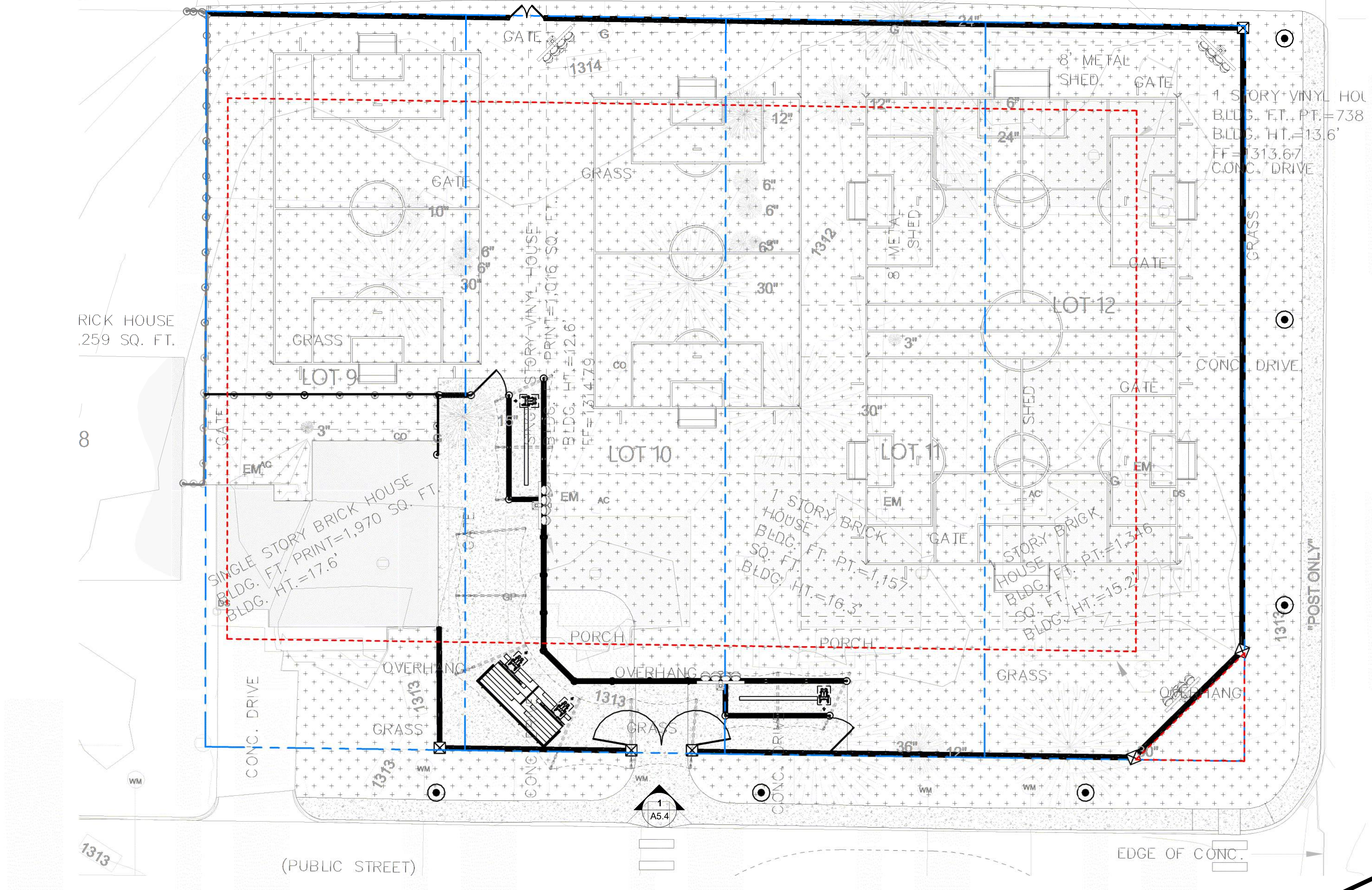
SHEET NUMBER
 A0.7

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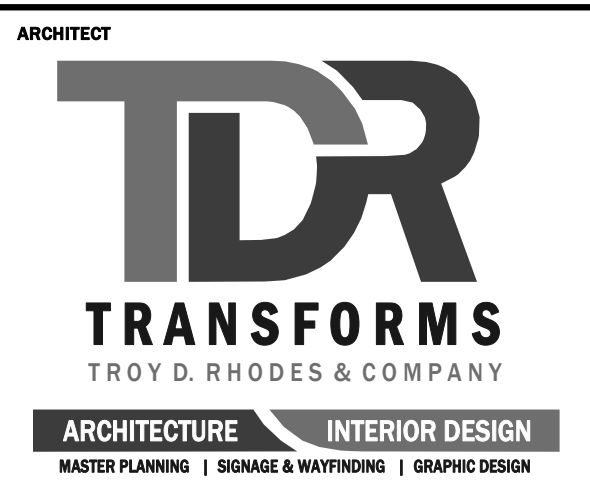
SITE PLAN LEGEND

	EXISTING BUILDING TO REMAIN		NEW SYNTHETIC TURF
	NEW PROPOSED BUILDING		NEW SOD
	EXISTING PAVING, GRASS, ETC. TO REMAIN		NEW PLAYGROUND SURFACING
	NEW CONCRETE PAVING. MODIFY SUB-GRADE AS SPECIFIED IN SOILS REPORT.	-	-
	NEW 4" CONCRETE SIDEWALK PAVING WITH 6" THICKENED EDGES.	-	-
	NEW COLORED/TEXTURED DECORATIVE CONCRETE PAVING	-	-



1 FALL - SOCCER (FIELD 3)
A0.8 1/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
07/19/23



PROJECT TEAM
OWNER
 BETHANY FIRST CHURCH OF THE NAZARENE
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BETHANY FIRST CHURCH OF THE NAZARENE
CAMPUS RENEWAL
PHASE 1

PROJECT ADDRESS
 6900 N.W. 41st Street
 Bethany, OK 73008

PROJECT NO.
 22391.00
DRAWN BY
 Author
CHECKED BY
 Checker
APPROVED BY
 Approver

SHEET ISSUE DATE HISTORY

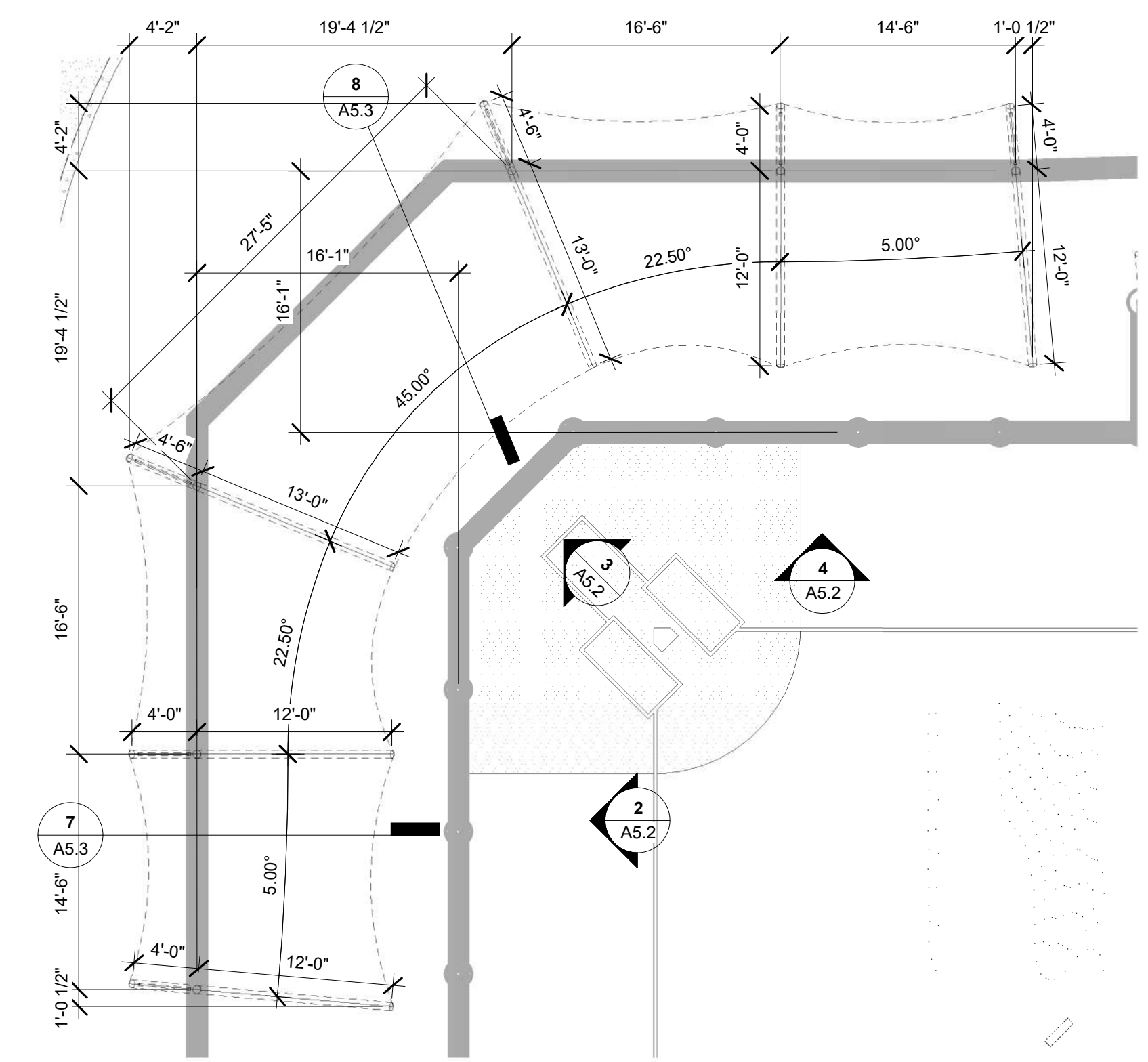
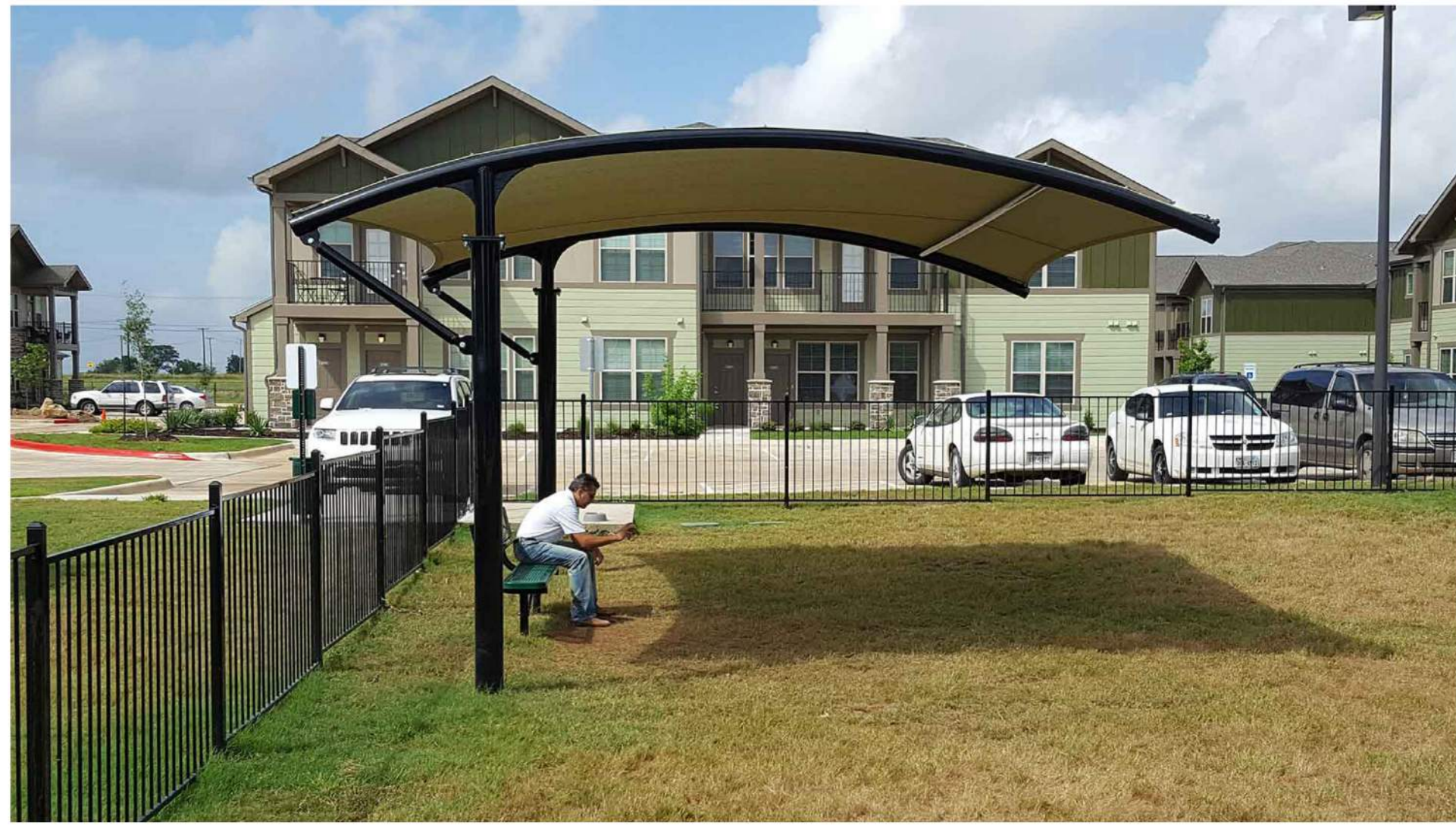
NO.	DATE	DESCRIPTION

PROJECT PHASE
 SCHEMATIC DESIGN

SHEET DESCRIPTION
 ARCHITECTURAL SITE PLAN

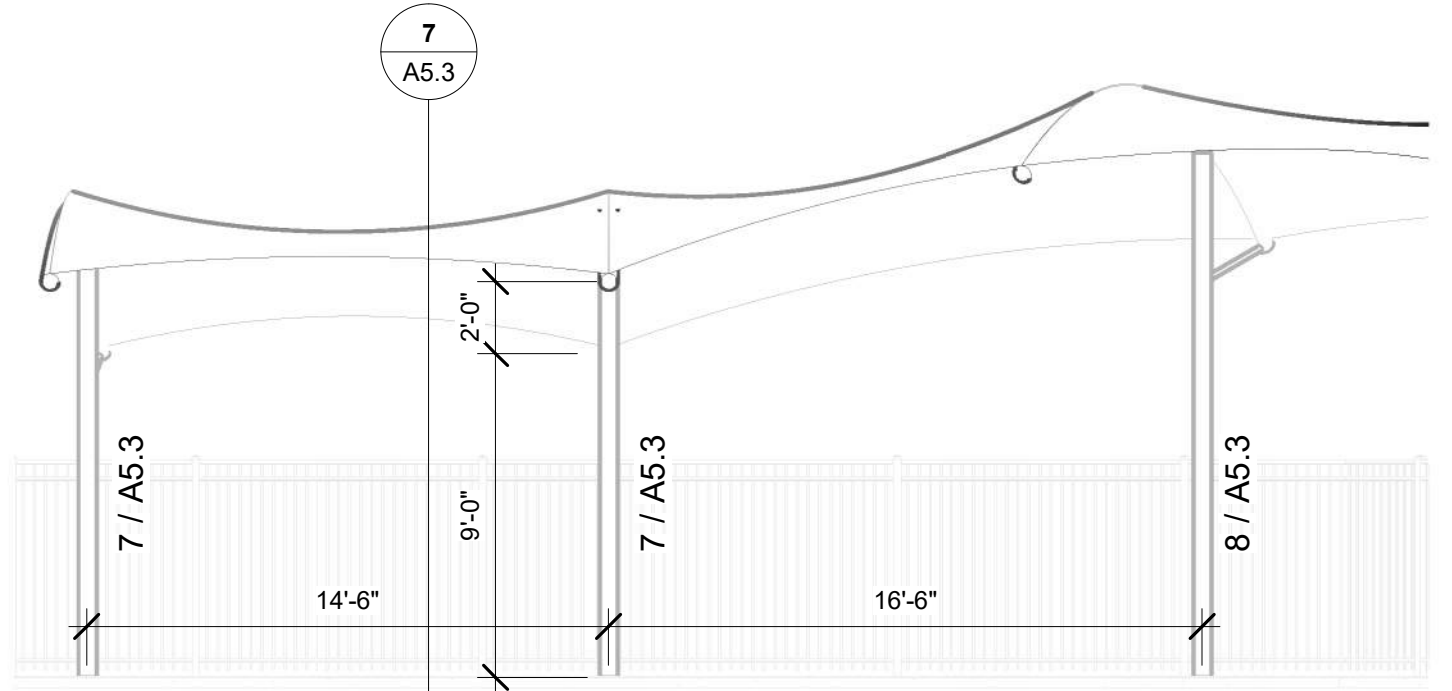
ISSUE DATE _____ **DATE** _____

SHEET NUMBER
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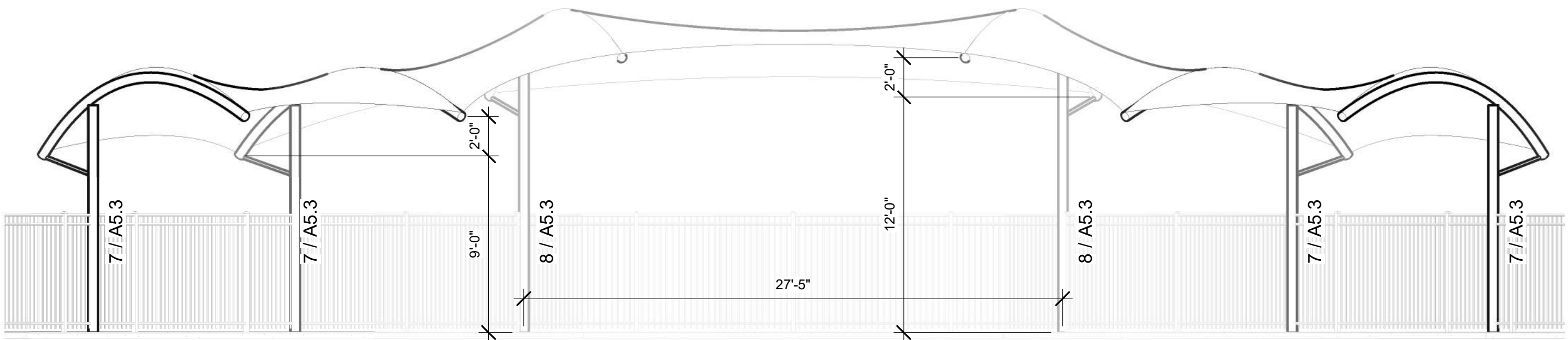
**TYPICAL BLEACHER
SHADE PLAN**

1 / A5.2
1/8" = 1'-0"



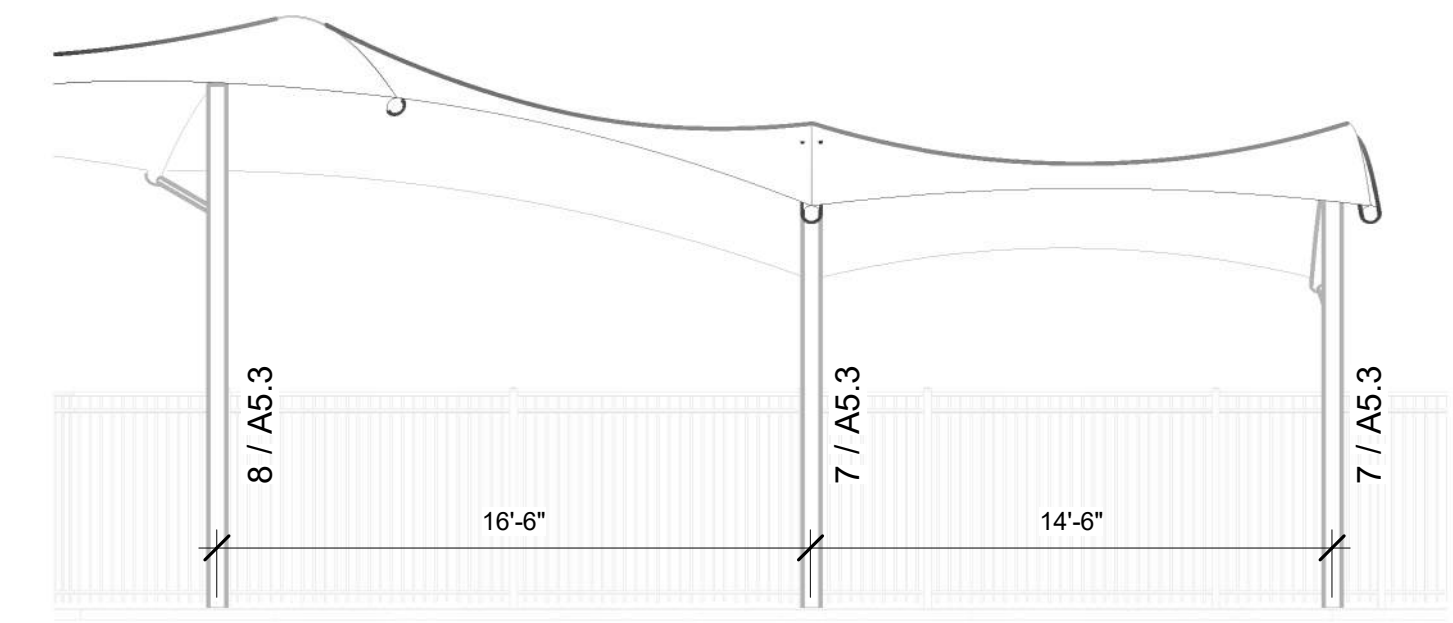
**TYPICAL BLEACHER
SHADE - FIRST BASE**

2 / A5.2
3/16" = 1'-0"



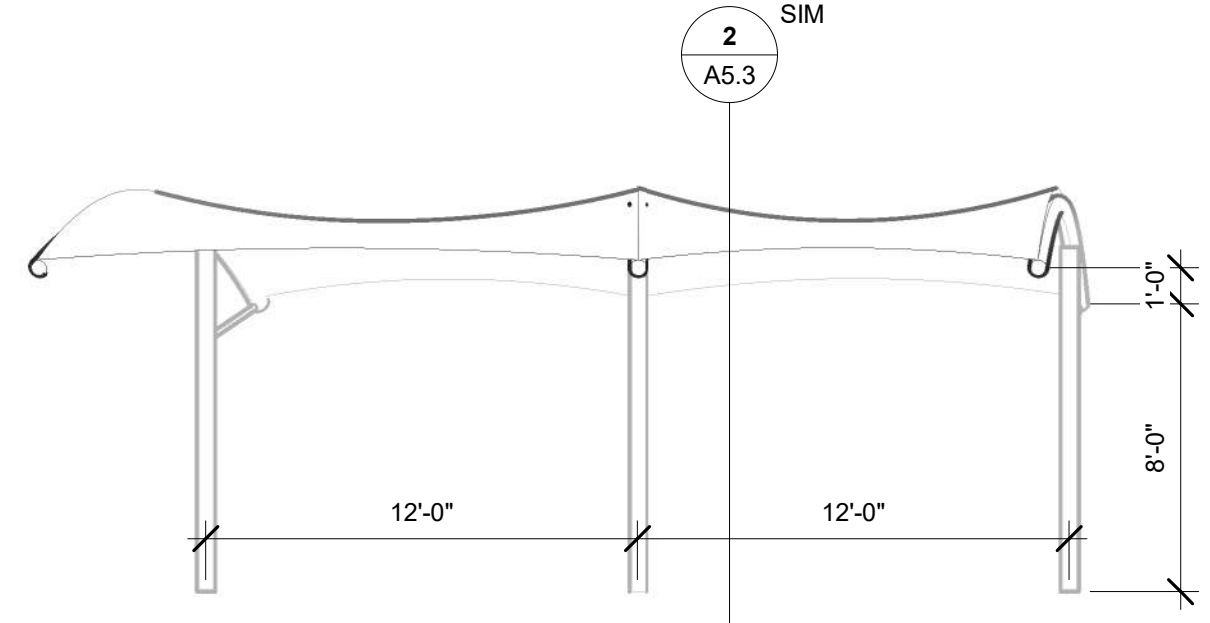
**TYPICAL BLEACHER
SHADE - CENTER**

3 / A5.2
3/16" = 1'-0"



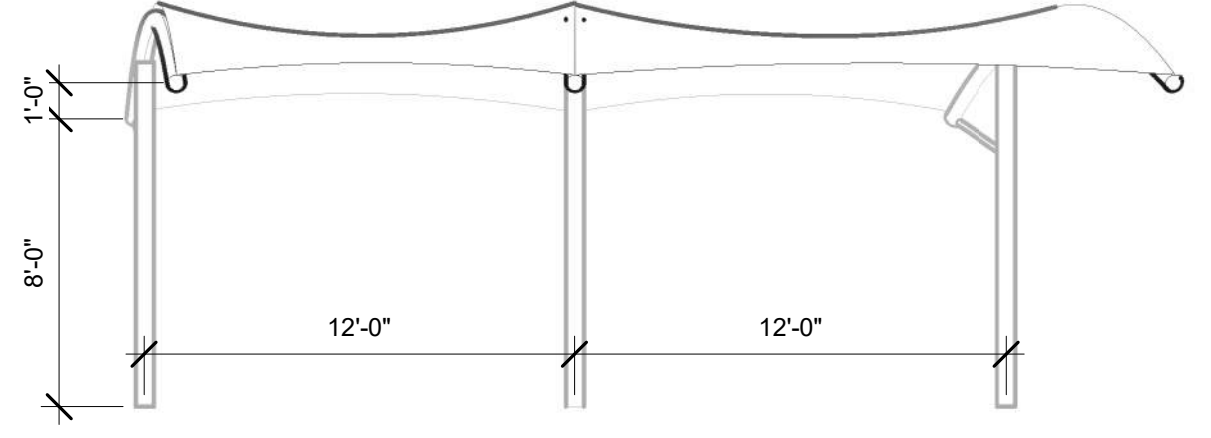
**TYPICAL BLEACHER
SHADE - THIRD BASE**

4 / A5.2
3/16" = 1'-0"



**TYP DUGOUT SHADE -
FIRST BASE**

5 / A5.2
3/16" = 1'-0"



**TYP DUGOUT SHADE -
THIRD BASE**

6 / A5.2
3/16" = 1'-0"



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PROJECT DESCRIPTION



BETHANY FIRST CHURCH OF THE NAZARENE

**CAMPUS RENEWAL
PHASE 1**

PROJECT ADDRESS
 6900 N.W. 41st Street
 Bethany, OK 73008

PROJECT NO.
22391.00
DRAWN BY
Author
CHECKED BY
Checker
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**PRELIMINARY
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07/19/23**

SHEET ISSUE DATE HISTORY		
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SHEET DESCRIPTION
EXTERIOR ELEVATIONS

ISSUE DATE _____ **DATE** _____

SHEET NUMBER
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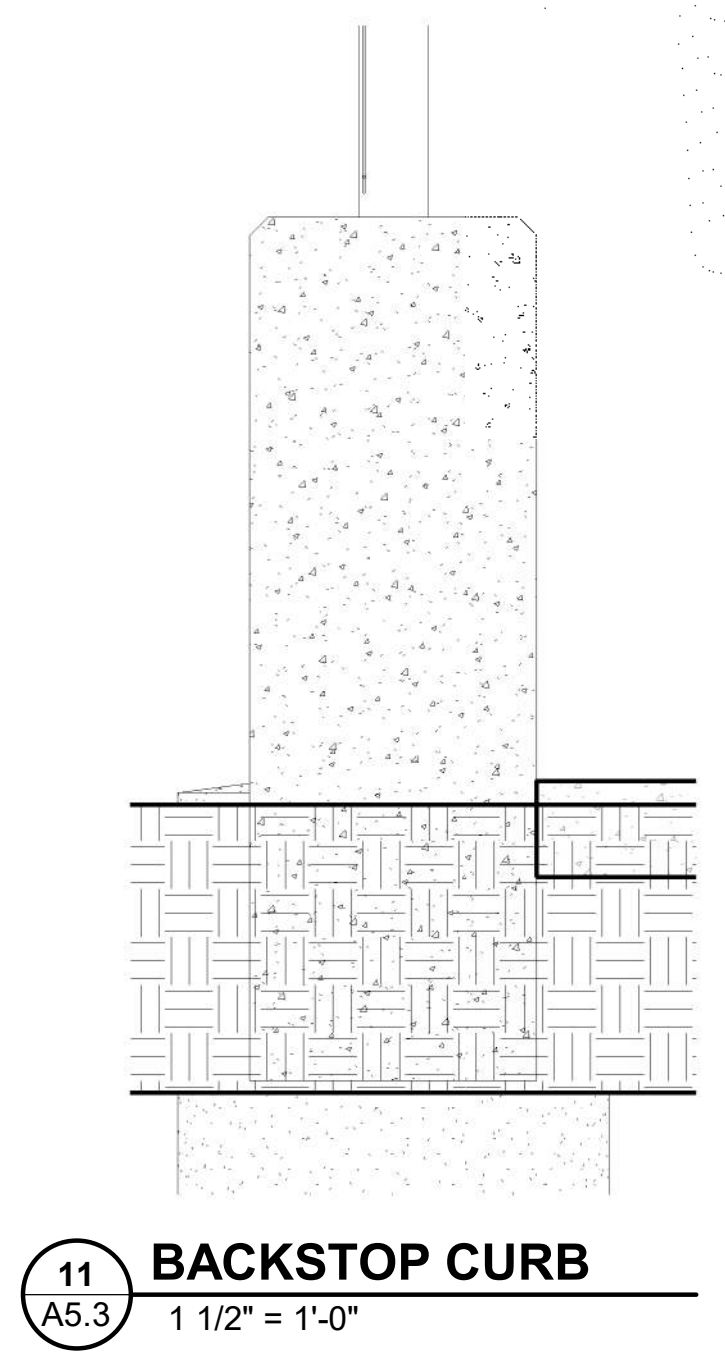
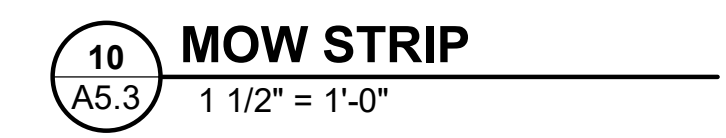
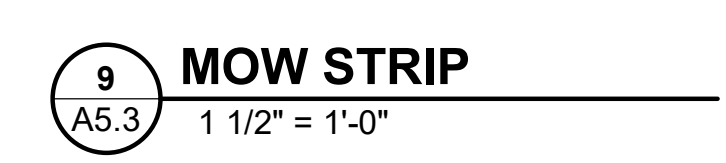
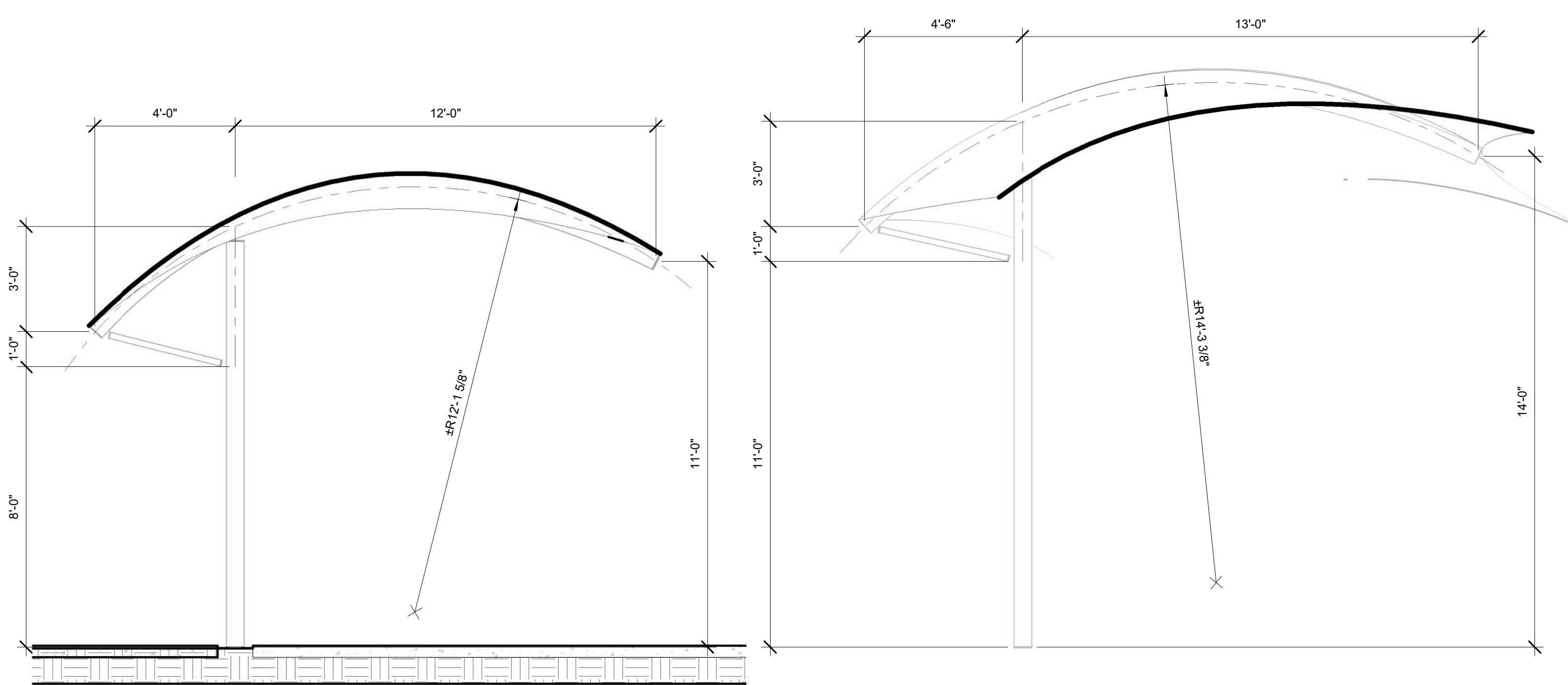
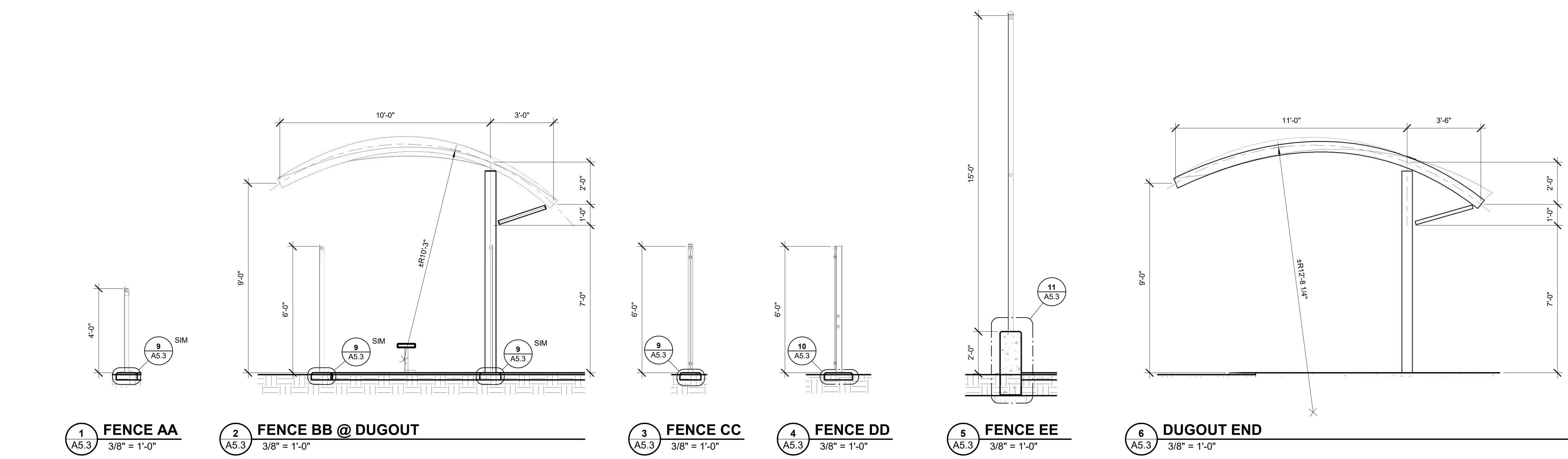
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PROJECT PHASE
 SCHEMATIC DESIGN

SHEET DESCRIPTION
 EXTERIOR ELEVATIONS

ISSUE DATE _____ **DATE** _____

SHEET NUMBER
 A5.3



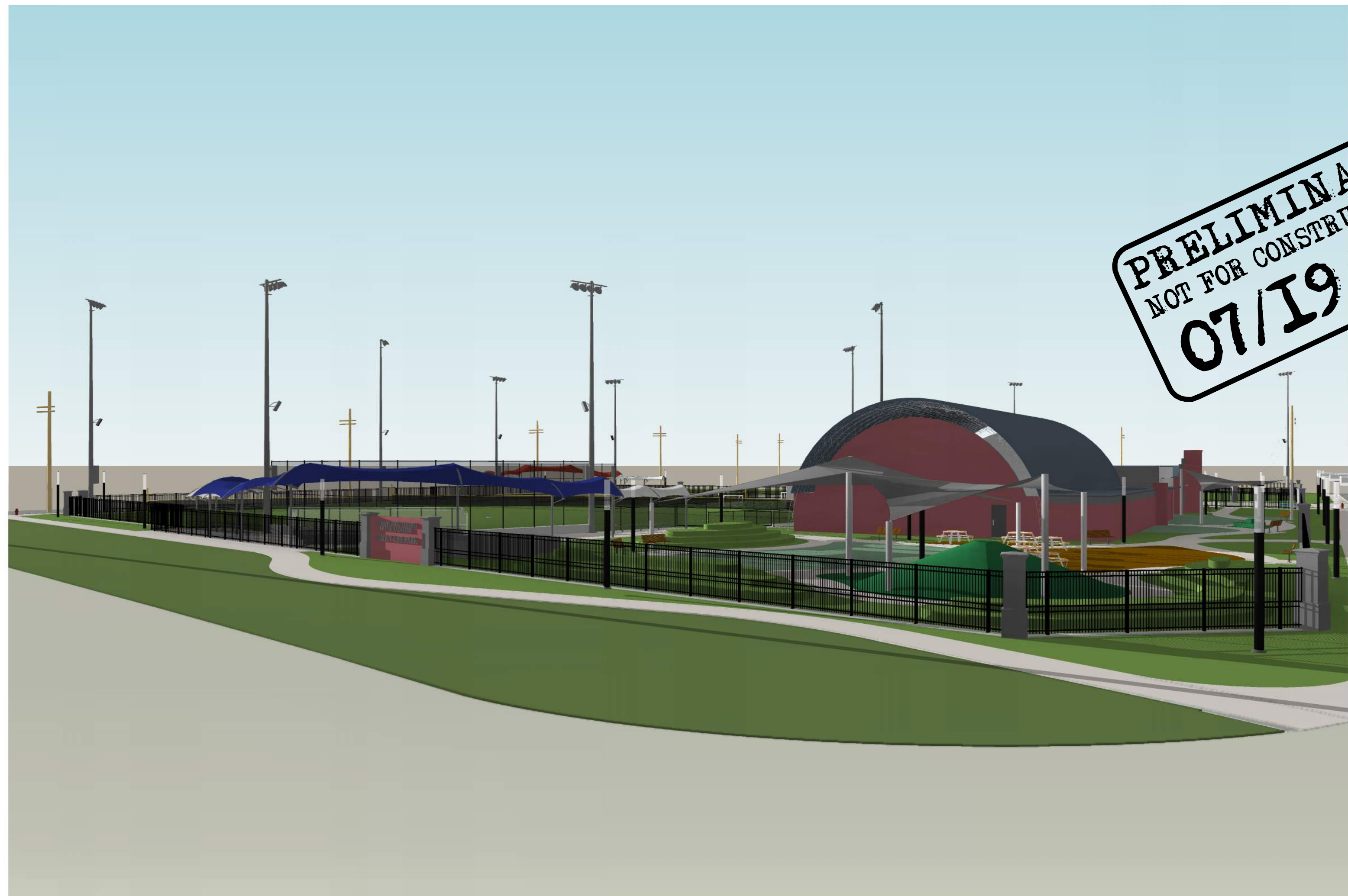
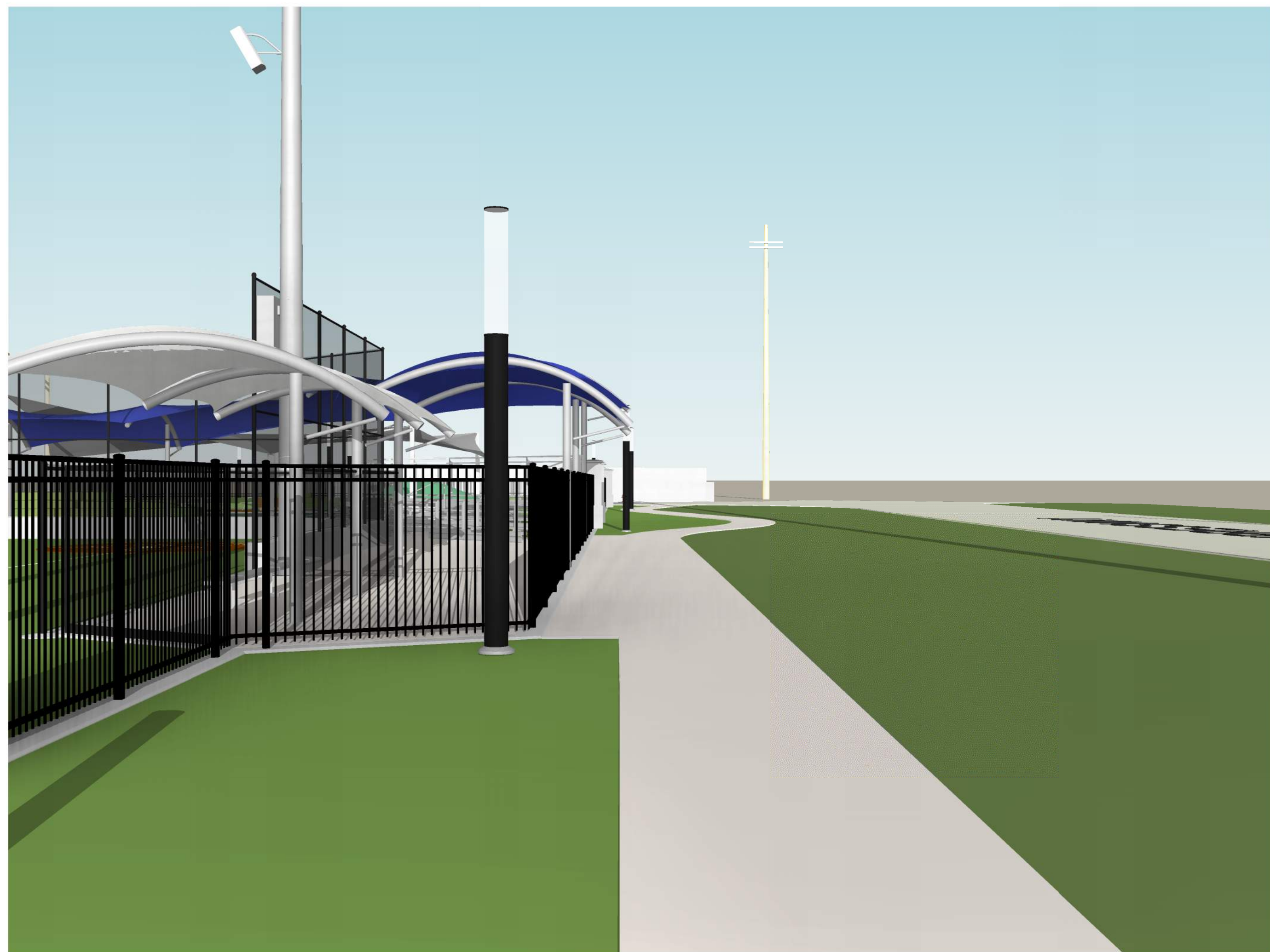
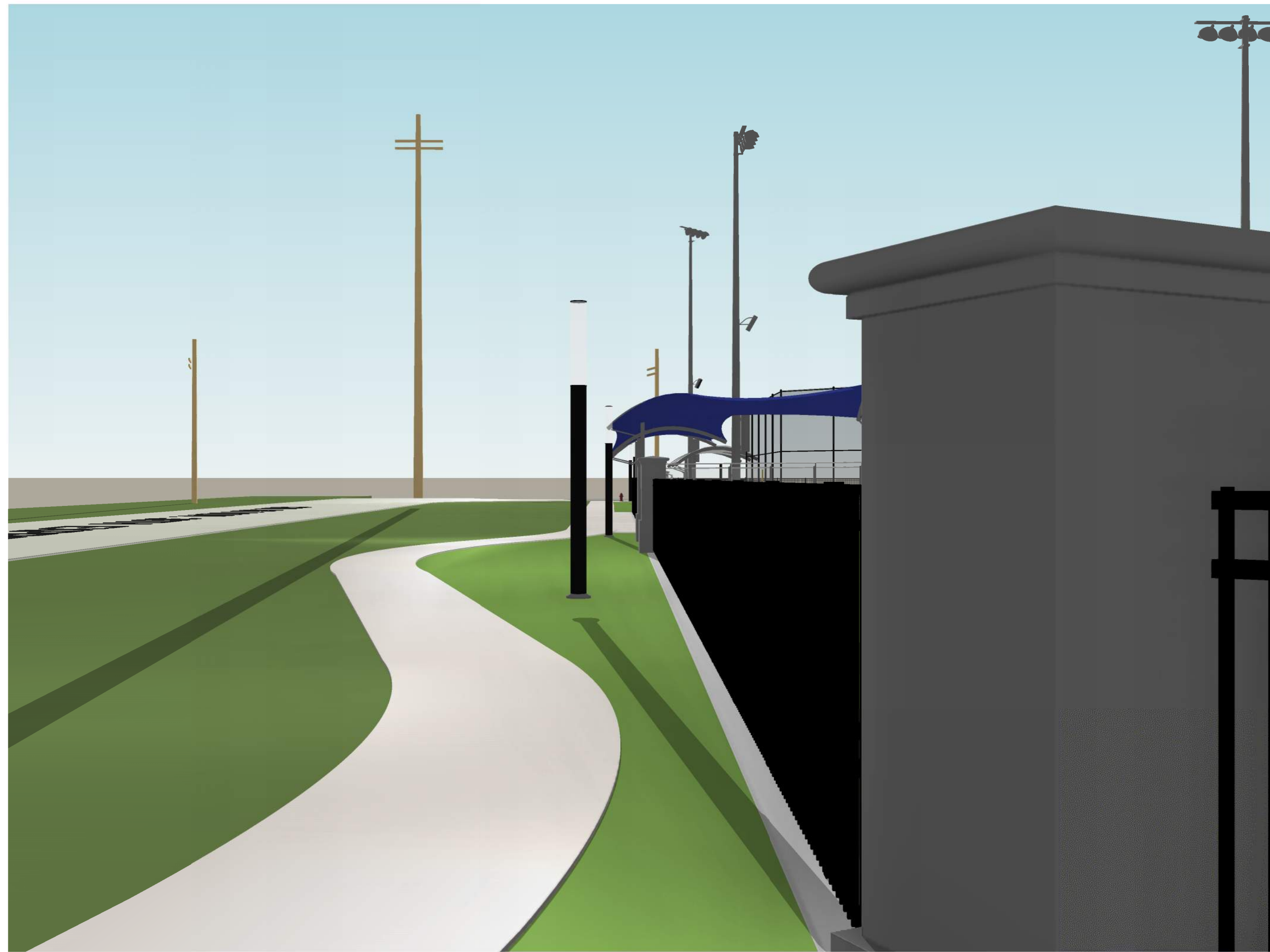
7 BLEACHER SIDES
 A5.3 3/8" = 1'-0"

8 BLEACHER CENTER
 A5.3 3/8" = 1'-0"

9 MOW STRIP
 A5.3 1 1/2" = 1'-0"

10 MOW STRIP
 A5.3 1 1/2" = 1'-0"

11 BACKSTOP CURB
 A5.3 1 1/2" = 1'-0"



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BETHANY FIRST CHURCH OF THE NAZARENE
**CAMPUS RENEWAL
 PHASE 1**

PROJECT ADDRESS
 6900 N.W. 41st Street
 Bethany, OK 73008

PROJECT NO. 22391.00	DRAWN BY Author
CHECKED BY Checker	APPROVED BY Approver

**PRELIMINARY
 NOT FOR CONSTRUCTION
 07/19/23**

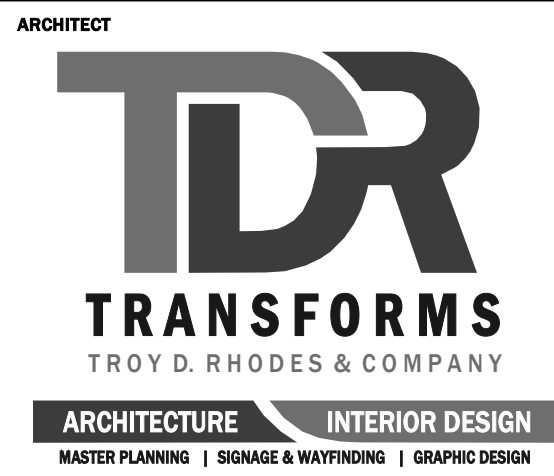
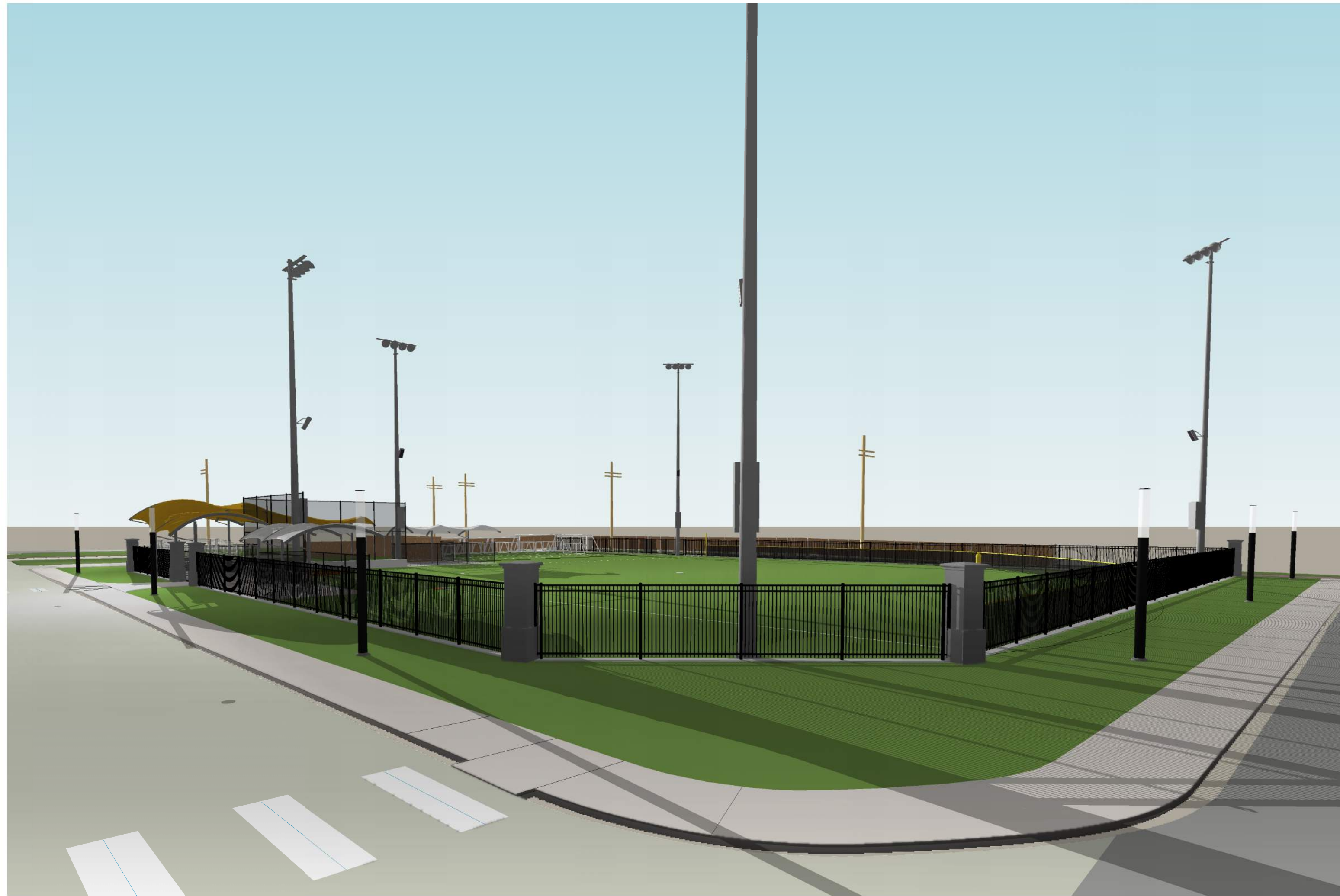
SHEET ISSUE DATE HISTORY		
NO.	DATE	DESCRIPTION

PROJECT PHASE
 SCHEMATIC DESIGN

SHEET DESCRIPTION
 EXTERIOR
 PERSPECTIVES

ISSUE DATE _____ **DATE** _____

SHEET NUMBER
A5.5



ARCHITECTURE INTERIOR DESIGN

PROJECT TEAM

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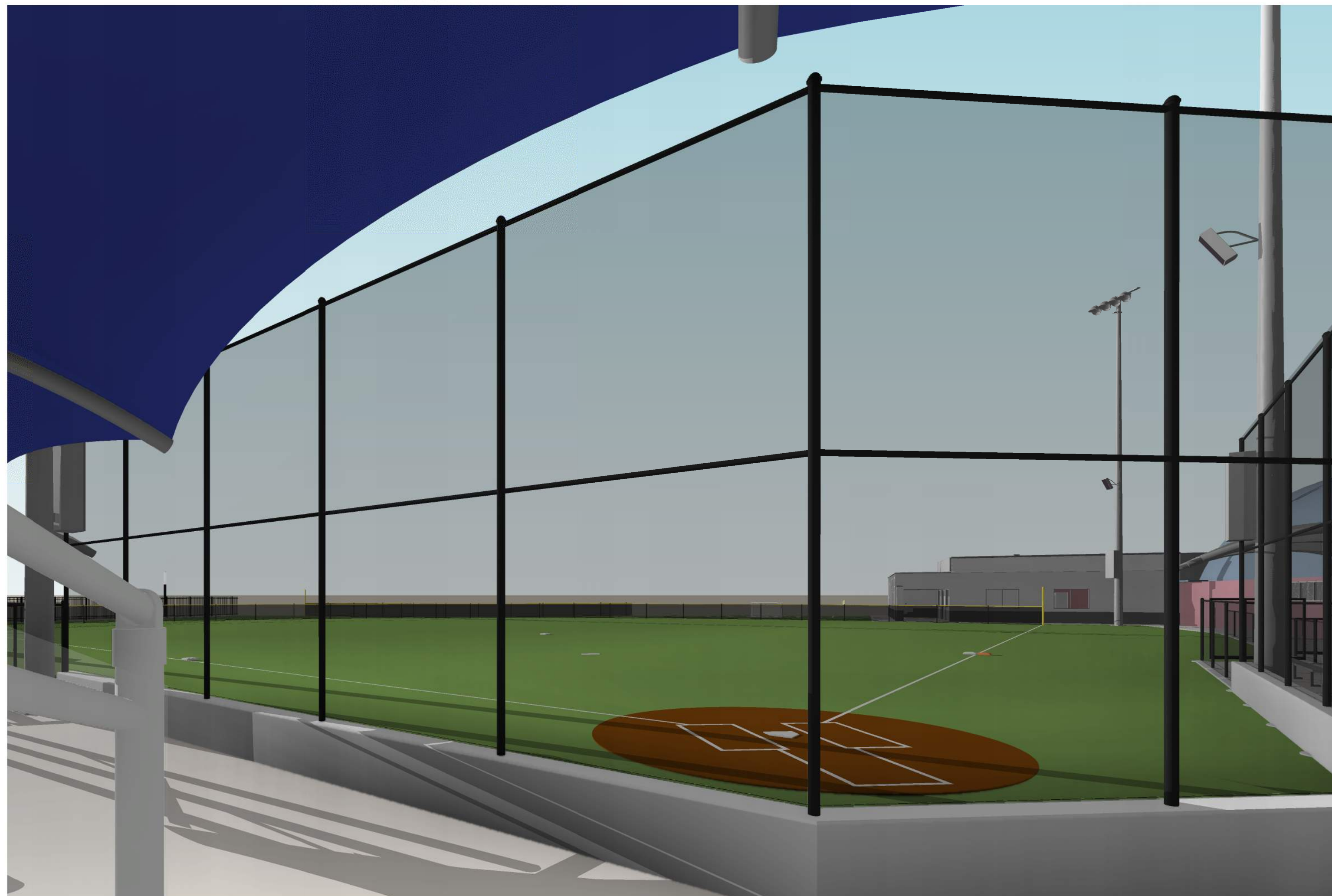
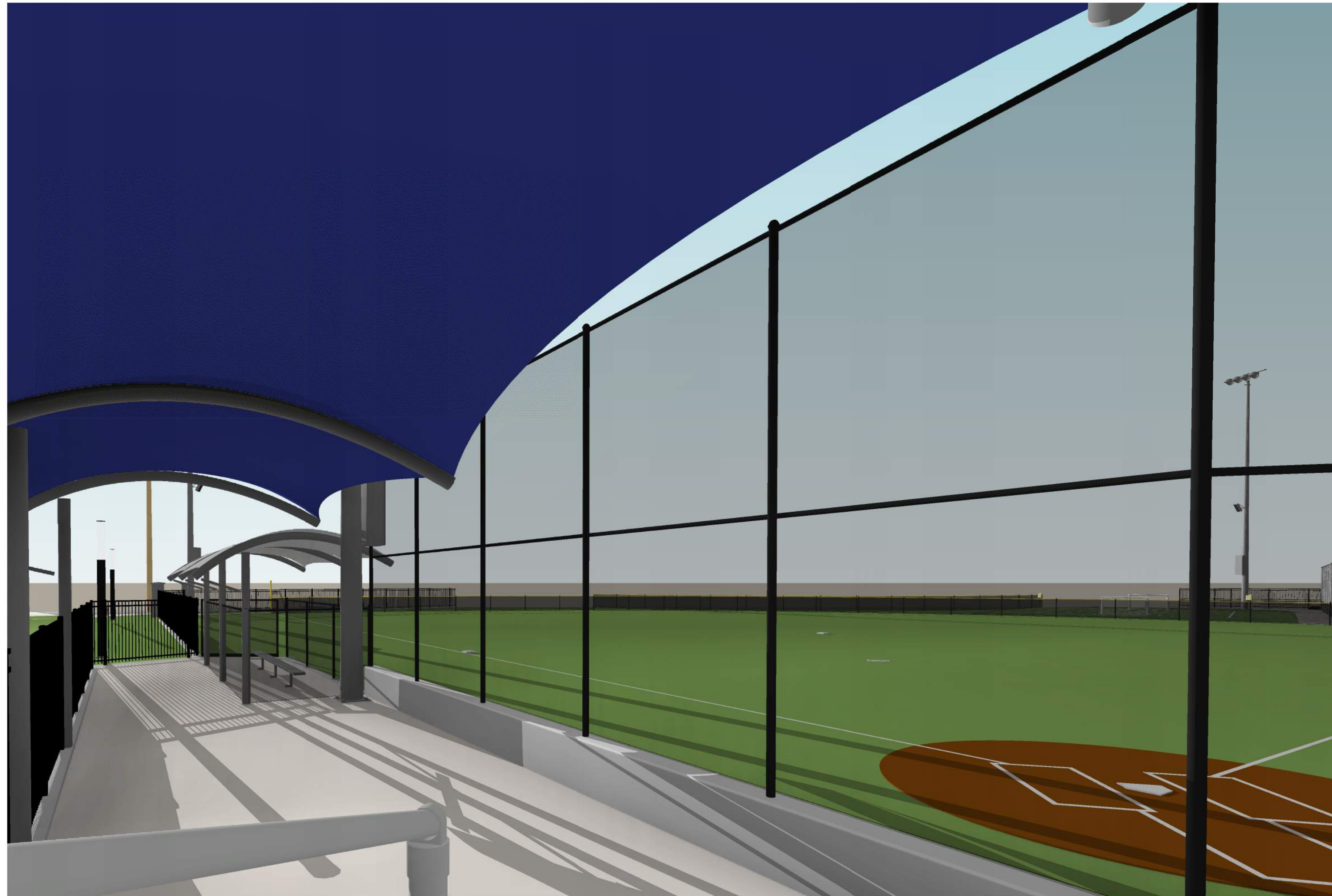
PROJECT PHASE
 SCHEMATIC DESIGN

SHEET DESCRIPTION
 EXTERIOR
 PERSPECTIVES

ISSUE DATE
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SHEET NUMBER
 A5.6

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PROJECT PHASE
SCHEMATIC DESIGN

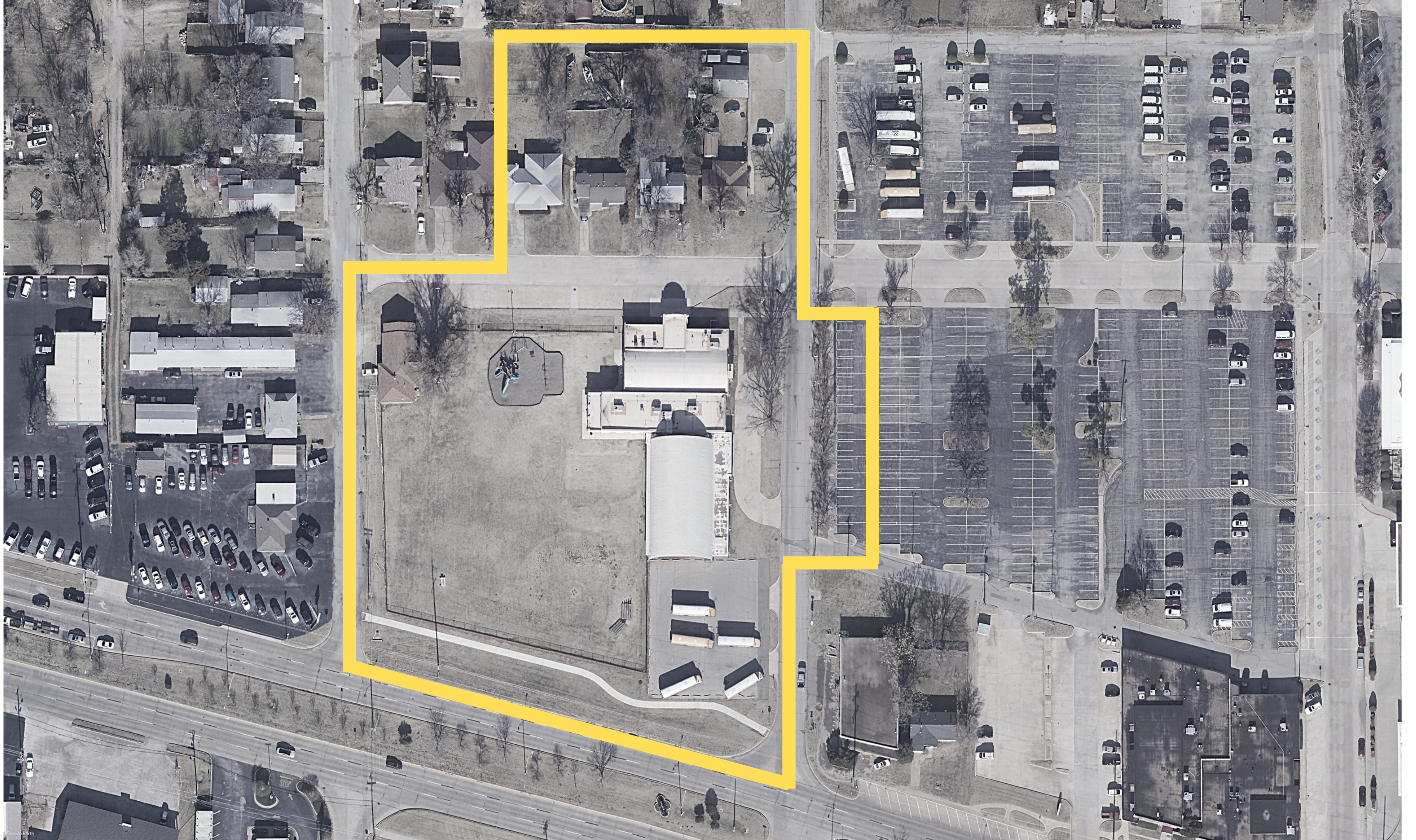
SHEET DESCRIPTION
EXTERIOR
PERSPECTIVES

ISSUE DATE _____ **DATE** _____

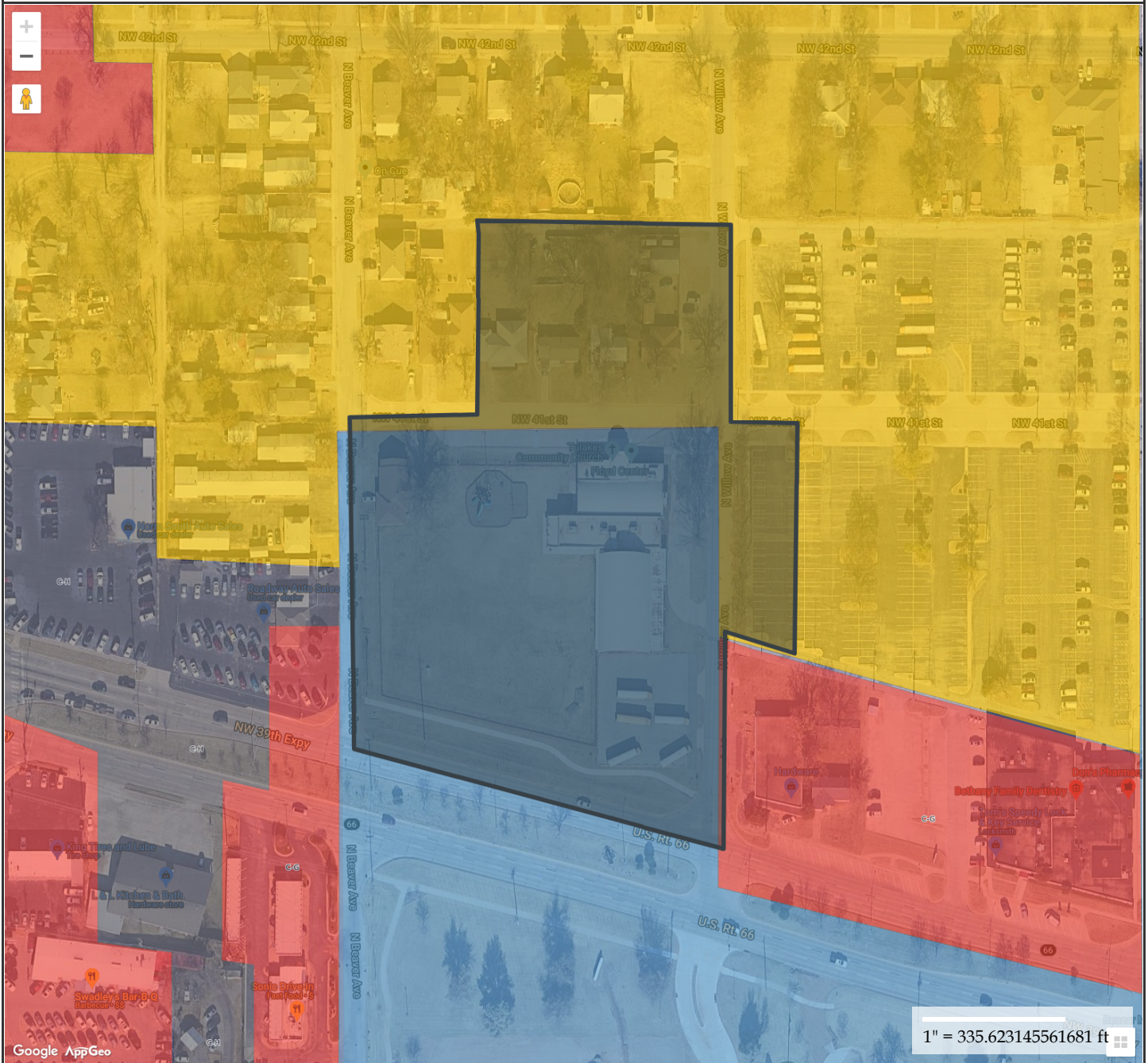
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A5.7





PC 23-12 Zoning Map



ZONING CODE LEGEND

■ A	■ I-L
■ CBD	■ I-R
■ C-G	■ PUD
■ C-H	■ PRD
■ C-S	■ R-1
■ C-N	■ R-2
■ C-O	■ R-M
■ C-R	■ RMO
■ E-I	■ RHP

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

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